

STAFF REPORT: Planning & Building Services Department



REPORT TO: Planning & Building Committee
MEETING DATE: Wednesday, April 7, 2010
REPORT NO.: PL.10.26
SUBJECT: Application for Site Plan Approval -
 Applevale Properties Ltd
 Town Plot Part Lot 15, Arthur E/S;
 Part 2, RP 16R-5051;
 Elgin Street;
 Town of The Blue Mountains

PREPARED BY: Bryan Pearce,
 Planner I

A. Recommendations

THAT Council receive Planning Staff Report PL.10.26, “Application for Site Plan Approval – Applevale Properties Ltd; Town Plot Part Lot 15, Arthur E/S; Part 2, RP 16R-5051; Elgin Street; Town of The Blue Mountains”;

AND THAT Council conditionally grant Site Plan Approval for the construction of a maximum of 327 square metre commercial building, in substantial accordance with the following drawings containing in this report, subject to the following conditions:

- 1. That the owner(s) enter into a Site Plan Agreement with the Town, as shown on the attached, at the owner’s expense.**
- 2. That the owner(s) address site matters to the satisfaction of the Town’s Director of Engineering and Public Works, at the owner’s expense.**

AND FURTHER THAT Council authorize the Mayor and Clerk to execute a Site Plan Agreement.

B. Background

Planning Services received an application for site plan approval from the President of Applevale Properties Ltd, being Ray Smith, to develop a commercial establishment on his Elgin Street lands in January 2010.

The proponent requests to develop the lands for Carquest, consisting of the construction of a 327 square metre commercial building containing a 83 square metre showroom with an associated warehouse area of 212 square metres and an office area of 12 square metres.

The purpose of this report is to consider an application for site plan approval for the development proposal. The subject lands are described as Town Plot Part Lot 15, Arthur E/S; Part 2, RP 16R-5051 in the Town of The Blue Mountains, locally described

as being on the west side of Elgin Street in the community of Thornbury. The subject lands are serviced by municipal water and wastewater services, on a lot comprised of 1240 square metres.

The proposal would allow for Carquest to move from their existing building site at 55 King Street East in the community of Thornbury to this new site location; and continue to service the local area apart from Carquest's Collingwood Simcoe Street downtown location and the Meaford Highway 26 west end location.

Surrounding land uses abutting the development proposal include the existing dentist office in the converted dwelling on the southwest corner of King Street East, the commercial/industrial lands of Thornbury Steel to the east, the vacant commercial lands to the south, and the commercial lands of Kings Court Convenience to the west.

Planning Comments

Planning authorities must have regard to matters of Provincial interest, the criteria of the *Planning Act* and be consistent with the Provincial Policy Statement (PPS-2005). Within the Town of The Blue Mountains they must also make decisions that conform to the County of Grey Official Plan and Town of The Blue Mountains Official Plan; and make decisions that represent good land use planning.

Provincial Interest – Legislation, Policy, Guidelines

The proposal raises no issues of Provincial significance.

County of Grey Official Plan

All development must conform to the purposes and policies of the County of Grey Official Plan.

The subject lands are designated as Urban within the County of Grey Official Plan, as Thornbury is within the settlement area; and local land use policies and development standards shall apply. Being that this is commercial development, the Official Plan supports this proposal.

Town of The Blue Mountains Official Plan

The Town of The Blue Mountains Official Plan designates the subject lands as Commercial (COM) within the Thornbury Urban Area of the Town of The Blue Mountains Official Plan. The General Development Policies under Section 4.27.2 permits a variety of commercial uses, and are structured to enhance the small town commercial function.

Policies note that development shall be on full municipal services. Planning Staff note that there is an existing municipal water and sewer line on Elgin Street, thus conforming to this policy.

In this scenario, the commercial policies relate to the Arthur/King Street Corridor that promotes the highway commercial type usage, rather than the core commercial area that is intrinsic along the Bruce Street area.

Therefore, it would appear that the Official Plan would support this type of development.

Zoning By-law

The subject lands are zoned General Commercial (C2) within the Town of Thornbury Zoning By-law 10-77.

Permitted uses in the C2 Zone permits retail stores, such as Carquest. Site plan details of this usage would comply with site performance standards of the C2 Zone.

The site plan details provide 11 parking spaces, inclusive of 1 barrier free parking space with access driveways being in compliance with the parking requirements under Section 6.9 of the zoning by-law.

The site plan details provide 2 loading spaces being in compliance with the load space requirements under Section 6.6 of the zoning by-law.

Therefore, Planning Staff note that the development proposal appears to be in compliance with the regulations.

Additional Comments

Development Review Committee

As a result of the February 2010 Development Review Committee, it was requested that the proponent satisfy the Town's Engineering and Public Work Department concerns with the storm water management plan. The Town's Engineering and Public Works Department has worked with the consulting engineers, being Genivar, over the last few weeks. Planning Staff recommends as a condition of approval that site matters be completed to the satisfaction of the Town's Director of Engineering and Public Works, for acceptance.

The Town's Building Division provides the following general comments on the development proposal:

1. A full review for compliance with the 2006 Ontario Building Code and other applicable law will be completed at the time of the application for a building permit(s).
2. Design for the construction of the proposed building shall be prepared by a qualified person. An OBC Data Matrix and related documents shall be provided at the time of the application for a building permit.

3. Building permit fees will be calculated in accordance to the Building Permits By-Law, as amended and shall be payable prior to building permit issuance. Increase in building.
4. Town Development Charges are applicable for the new building and are payable prior to building permit issuance.
5. A barrier free path of travel including access to parking areas shall be provided in accordance to Section 3.8 of the OBC.
6. Fire Department access within the proposed site for which the 2006 Ontario Building Code does not apply will be required to be approved by the TBM Fire Chief.
7. Fire Safety Plans, required by the Ontario Fire Code, will be required to be approved by the TBM Fire Chief.
8. Sign permit(s) shall be obtained in accordance to the Town's Sign By-law 2001-57. Application forms available from Building & By-law Services.
9. Other municipal permits required may include an entrance permit and a municipal works permit for work in the municipal right of way. Contact Engineering and Public Works at (519) 599-3131 ext. 276 for more information.

In regards to point #4, Planning Staff note that Development Charges have been paid in advance of building permit, based on Development Charges By-law 2005-27 at the 2010 indexed rates. If the Committee recalls, Council endorsed Report FIS.10.25 at the March 22, 2010 Council Meeting in regards to a deferral period on the new development charge rates for active development applications.

The proposed site plan agreement would contain standard provisions that provide for matters such as securities, cash-in-lieu of parkland, payment of development charges, and issuance of building permits.

Summary

Based on the foregoing, it is the opinion of Planning Staff that the proposed site plan to permit the a commercial establishment, being Carquest, is appropriate for the lands and recommends that Council conditionally grant site plan approval, subject to the owner(s) entering into a site plan agreement with the Town and addressing site matters to the satisfaction of the Town's Director of Engineering and Public Works, all at the owner(s) expense.

C. The Blue Mountains' Strategic Plan

The recommendation in this Planning Staff Report PL.10.26 is consistent and supports the following Strategic Plans Goals:

- "1. Managing growth to ensure the ongoing health and prosperity of the community".*

D. Environmental Impact

The proposal does not appear to generate any special or significant environmental impacts.

E. Budget Impact

N/A

F. Attached

1. Aerial Photograph of the Subject Lands, May 2006
2. Site Plan
Project: Elgin Street Commercial Building
Drawing No.: 1
Prepared by: Applevale Properties Ltd.
Dated: September, 2009
Last Revised: March 6, 2010
3. North Side Elevation and Elgin Street Elevation
Project: Elgin Street Commercial Building
Drawing No.: 2
Prepared by: Applevale Properties Ltd.
Dated: September, 2009
Last Revised: March 10, 2010
4. South Side Elevation and Rear Elevation
Project: Elgin Street Commercial Building
Drawing No.: 3
Prepared by: Applevale Properties Ltd.
Dated: September, 2009
Last Revised: March 10, 2010
5. Floor Plan
Project: Elgin Street Commercial Building
Drawing No.: 5
Prepared by: Applevale Properties Ltd.
Dated: September, 2009
Last Revised: March 10, 2010

Respectfully submitted,

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K:\~ Active Planning Projects\P19 Applevale - Carquest Proposal\PL1026 Applevale Properties Ltd - Site Plan Approval - Carquest Proposal - Recommendation Report.doc

All dimensions must be verified by the contractor prior to commencement of the work, any errors or omissions should be reported to the designer.

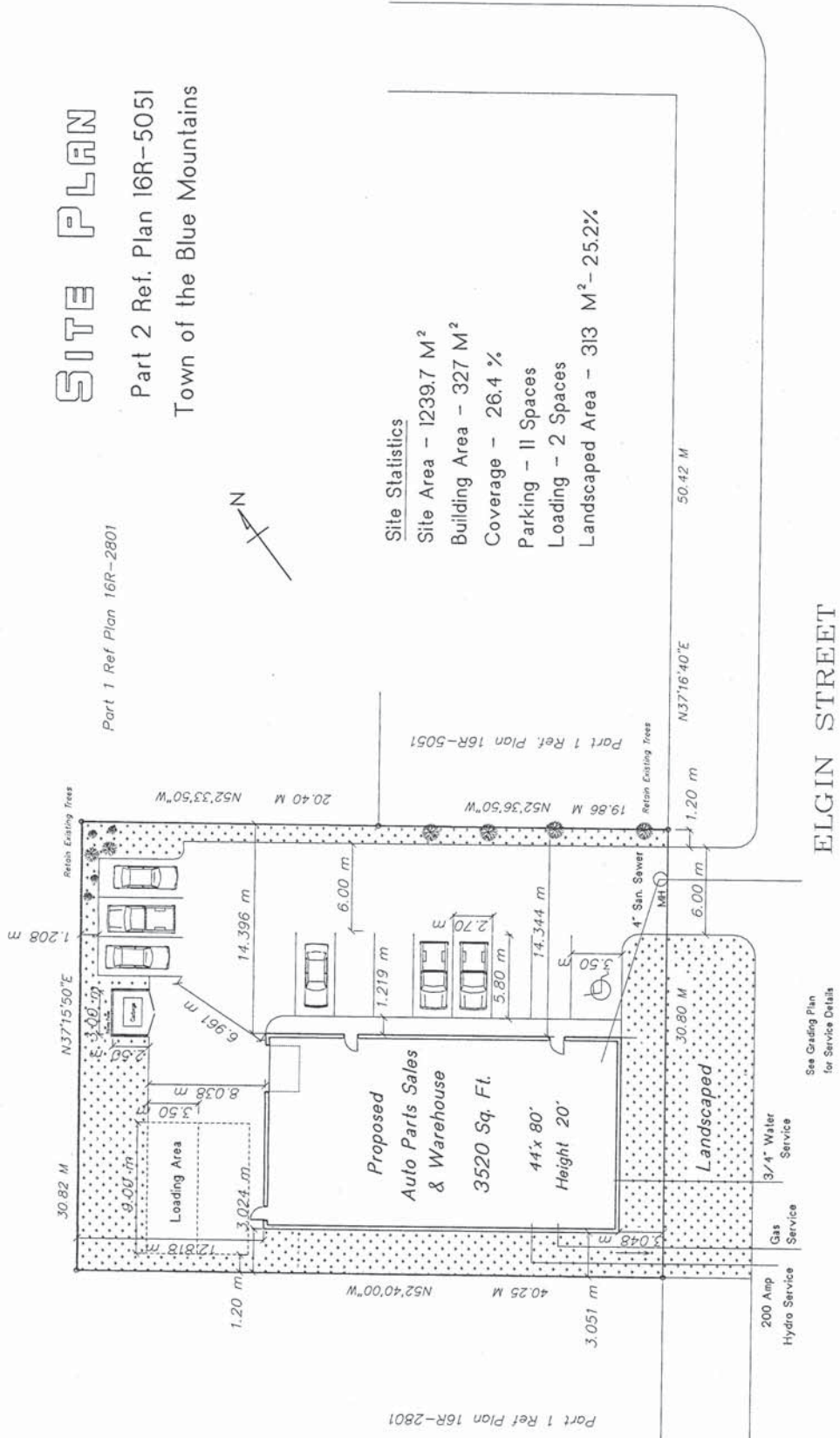
SITE PLAN

Part 2 Ref. Plan 16R-5051
Town of the Blue Mountains

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PER

The Kings Highway No. 26

Site Statistics
Site Area - 1239.7 M²
Building Area - 327 M²
Coverage - 26.4 %
Parking - 11 Spaces
Loading - 2 Spaces
Landscaped Area - 313 M² - 25.2%



ELGIN STREET

200 Amp Hydro Service
Gas Service
3/4" Water Service

See Grading Plan for Service Details

Fire Hydrant

Based on Survey by Patten & Thomsen
Job 69-125-12 April 12, 2005

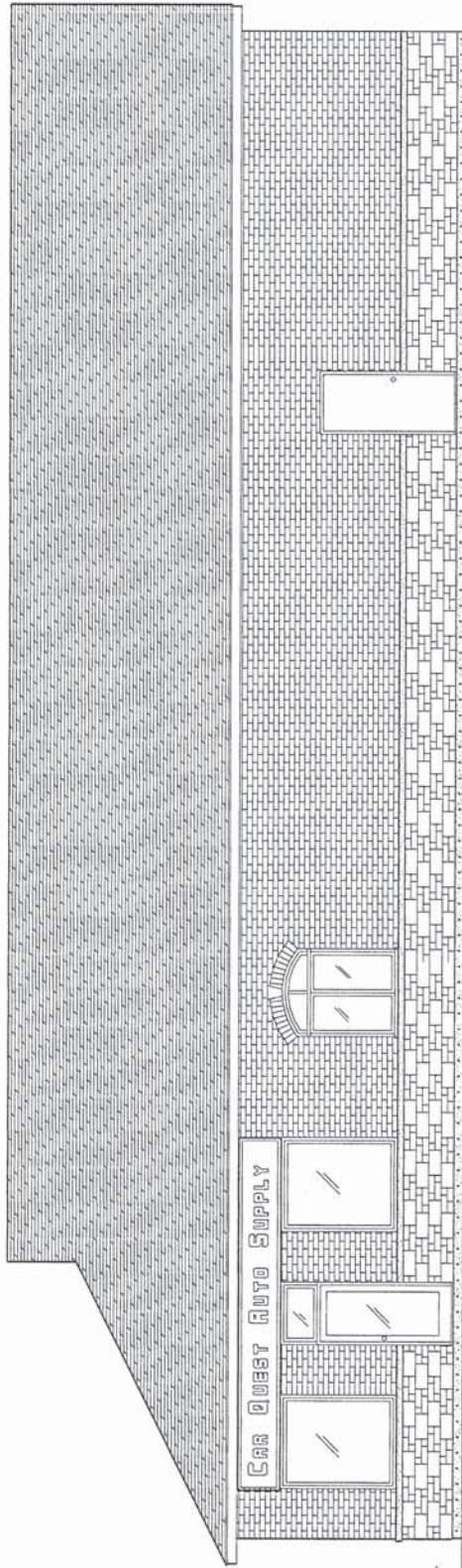
Revised Mar. 8/10
Revised Mar. 4/10

All dimensions must be verified by the contractor of the work, any errors or omissions should be reported to the designer.

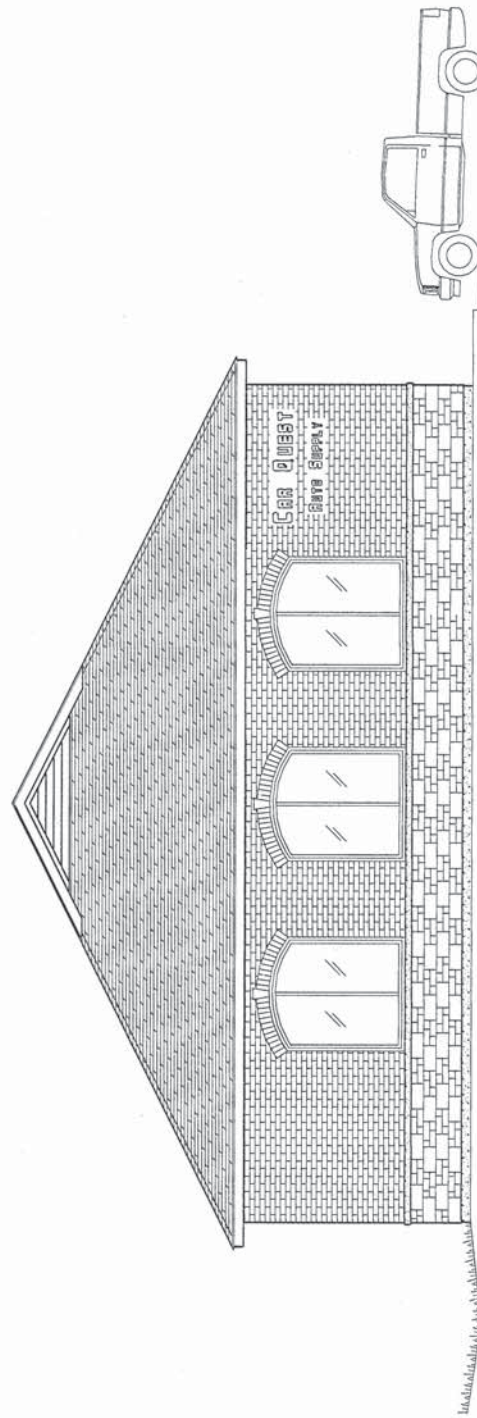
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North Side Elevation



Elgin Street Elevation

Revised Mar. 10/10
Revised Mar. 4/10
Windows Changed, Roofline Changed
Revised Feb. 5/10
Stucco changed to clay brick

Applevale Properties Ltd.
P.O. Box 623 Collingwood, Ont. L9Y 4E8 Ph. (705) 445-7718

Elgin St. Commercial Bldg.

Scale: 3/16"=1'-0"
Date: Sept. 2009
Project: _____
Drawn By: _____

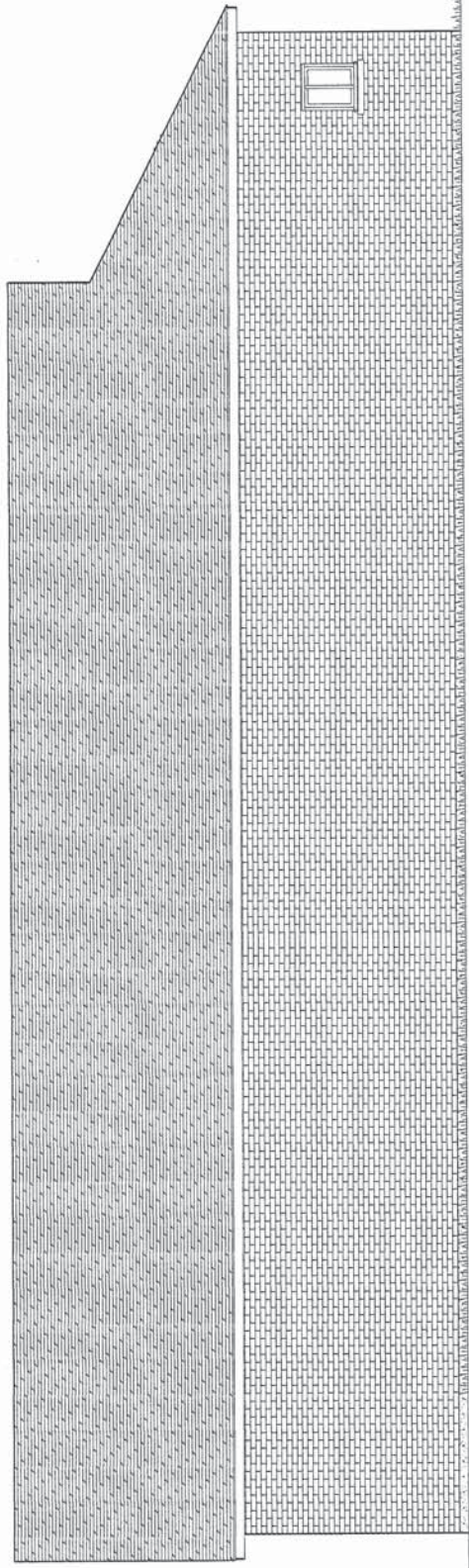
Drawn: **2**

All dimensions must be verified by the contractor prior to construction of the work, any errors or omissions should be reported to the designer.

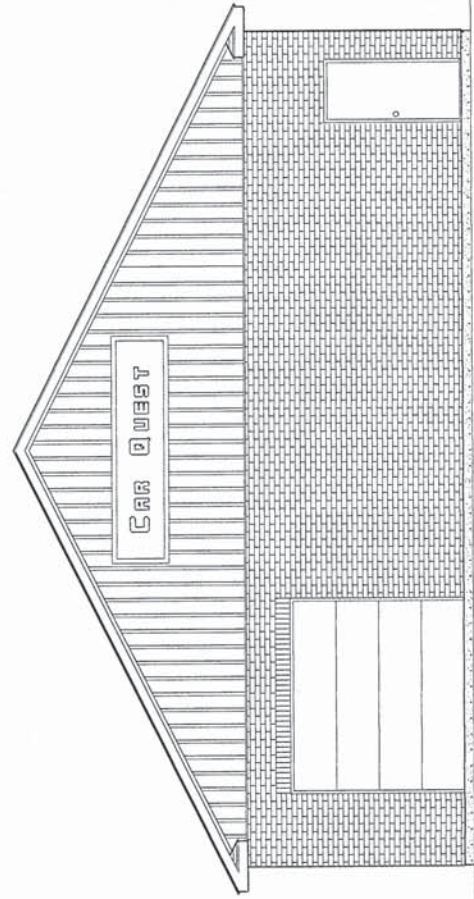
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South Side Elevation



Rear Elevation

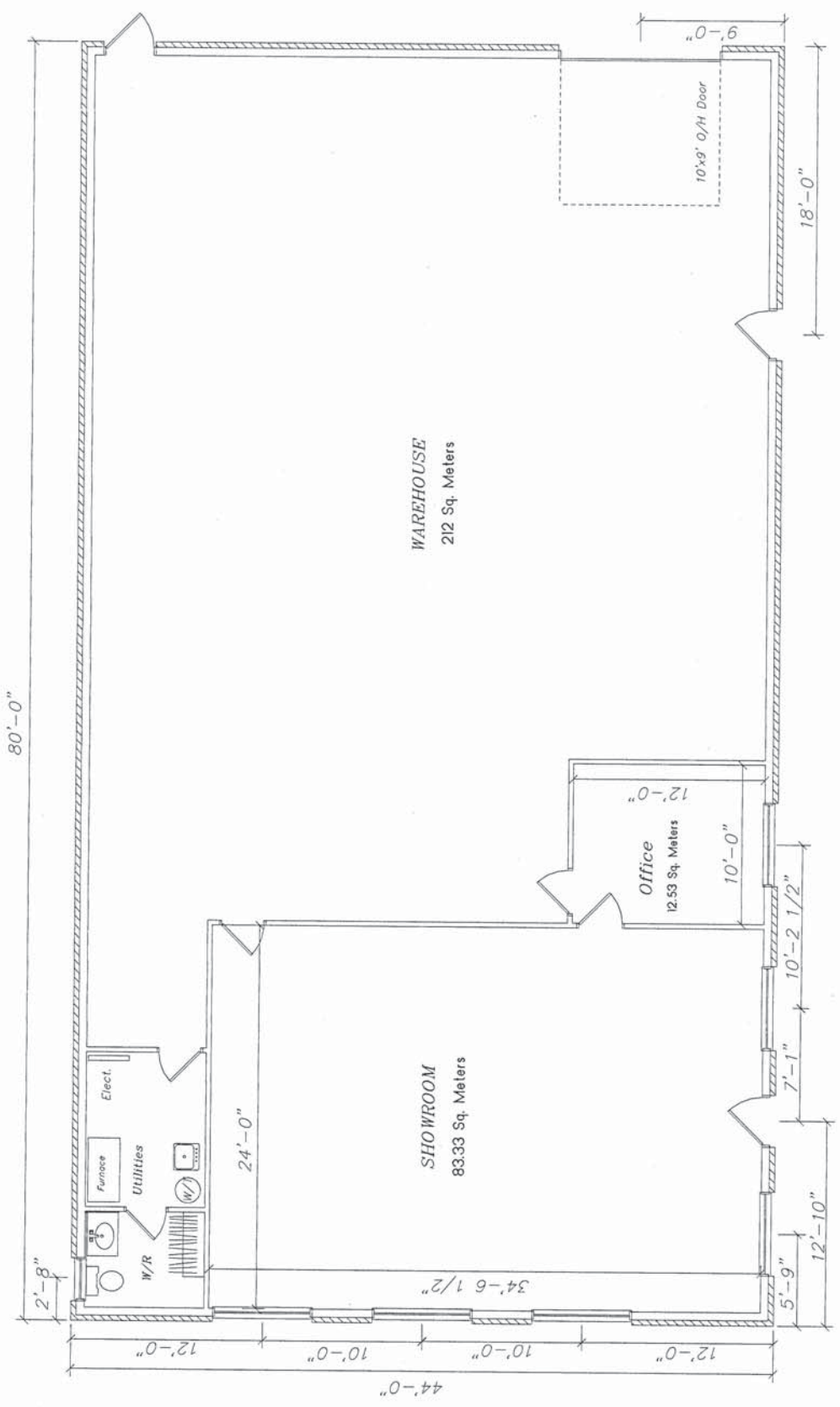
Revised Mar. 10/10
Revised Mar. 4/10
Windows Changed, Roofline Changed
Revised Feb. 5/10
Stucco changed to clay brick



All dimensions must be checked in the field prior to commencement of the work, any errors or omissions should be reported to the engineer.

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Floor Plan

Note: All construction must comply with latest Ontario Building Code and Municipal By-Laws.