

**STAFF REPORT:** Planning & Building Services Department



**REPORT TO:** Planning and Building Committee  
**MEETING DATE:** October 3, 2011  
**REPORT NO.:** PL.11.109  
**SUBJECT:** Application for Site Plan Approval –  
2259905 Ontario Inc.  
(Piper’s Sports Bar and Furniture)  
REG COMP PLAN 1023 LOT 23 PT  
LOT 22 N/E KING ST PT LOTS  
22 AND 23 S/W HURON ST RP  
16R5032 PT PART 7  
54 King Street East  
Town of The Blue Mountains  
**PREPARED BY:** Shawn Postma, Planner II

#### **A. Recommendations**

**THAT Council receive Planning Staff Report PL.10.87, “Application for Site Plan Approval – 2259905 Ontario Inc. (Piper’s Sports Bar and Furniture) REG COMP PLAN 1023 LOT 23 PT LOT 22 N/E KING ST PT LOTS 22 AND 23 S/W HURON ST RP 16R5032 PT PART 7 54 King Street East, Town of The Blue Mountains”;**

**THAT Council grant site plan approval pursuant to Section 41 of the *Planning Act* conditional upon the Owner obtaining “Accepted For Construction” Drawings related to site servicing and grading and drainage from the Town’s Department of Engineering & Public Works and the Owner entering into an Agreement with the Town related to securing the works and facilities related to the site; and,**

**THAT Council authorize the Mayor and Clerk to execute an Amending Site Plan Agreement in a form approved by the Director, Planning & Building Services and the Town’s solicitor.**

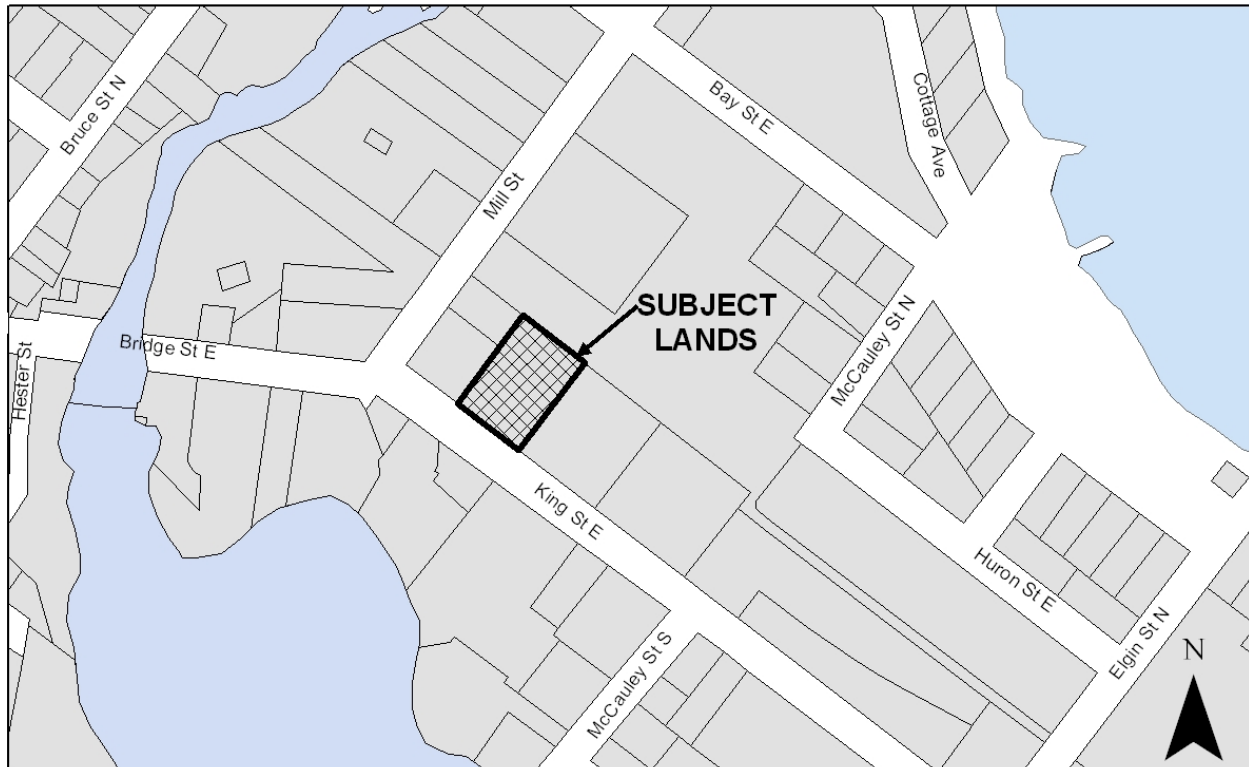
#### **B. Background**

Planning Services Division received an application for a Site Plan Approval in September 2011 that proposes a 92 square metre addition to the former Pipers Restaurant and Curling Iron Hair Salon building. The former Pipers Restaurant space is intended to be converted into a new Sports Bar and Grill with no changes to the existing floor space or to the capacity of the restaurant. The former Curling Iron Hair Salon is proposed to be converted into retail commercial space with a furniture and home décor business. The proposed addition will be added to the front of the existing building and will be added to the proposed retail commercial space. Including the proposed addition,

221 square metres will be dedicated to the restaurant use and 168 square metres dedicated to the retail commercial use.

The proposed addition will bring the building closer to the street and will require the removal of the existing parking area in front of the building. The existing parking area in the west portion of the property is proposed to be expanded further north towards the Georgian Trail. Stormwater improvements are also proposed throughout the property with a new grassed stormwater management facility proposed in the rear of the property.

## Location



The property is located at 54 King Street East. The lands are 2761 square metres in size with 42.2 metres of frontage along King Street East. The lands have been developed as a restaurant and hair salon since 2000 and there is an existing Site Plan Agreement and Site Plan on the property. Surrounding lands include the Smith Memorial Park and municipal parking area to the west. To the north is the Georgian Trail and Bayview Park. To the east is the UPI Energy Gas Bar and Propane, and to the south are the Millpond Homes. The lands are serviced with existing municipal water and sewer services.

An existing Site Plan Agreement is in place for the former restaurant and service commercial use. The Agreement recognizes the existing site plan and drainage/grading plan for the previous use.

In support of this application is a Stormwater Management Design Brief, Site Plan and Drainage and Grading Plan.

### **Provincial Policy Statement**

The Provincial Policy Statement (PPS) provides for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural environment. The PPS supports improved land use planning and management, which contributes to a more effective and efficient land use planning system. The proposed development is located within the existing serviced urban area of Thornbury and the PPS identifies that settlement areas shall be the focus of growth and their vitality and regeneration should be promoted. Land shall be efficiently used, with consideration for intensification, redevelopment, mix of uses and densities that ensure appropriate development will take place. It would appear that the proposed redevelopment is consistent with the Provincial Policy Statement.

### **County of Grey Official Plan**

The subject lands are designated Urban in the County of Grey Official Plan. The Goals and Objectives of the County Plan seek to enhance economic opportunities and to strengthen the role of the County as a desirable place to work, live and visit. Section 2.6.3(2) of the County Plan states that land use policies and development standards in areas designated Urban will be in accordance with local Official Plans and/or Secondary Plans. It is our opinion that the applications will comply with the County of Grey Official Plan.

### **Town of The Blue Mountains Official Plan**

The subject lands are designated Commercial 'COM' within the Thornbury Urban Community of the Town of The Blue Mountains Official Plan. The predominant use of land in the Commercial designation shall be for all forms of retail and service commercial uses, office, restaurant and other uses that would not interfere with the primary purpose of the areas as a place of commerce. The Official Plan recognizes the subject property as part of the Arthur Street / King Street corridor (otherwise known as Highway 26). This area is recognized as an evolving highway commercial strip with motels and gas stations to a more traditional commercial street with a wide variety of uses. The types of uses directed to this corridor are typically those uses which demand larger lot sizes for space, parking and other on-site requirements which would otherwise not suit the Bruce Street area.

The Thornbury Commercial designation represents the primary local retail and service centre for the Municipality, as well as some small scale shops, boutiques and other uses related to the traveling public. General development policies encourage those commercial uses that enhance the small town commercial function.

In considering an application for a proposed commercial development, the Town must take into account the following:

1. The adequacy of on-site parking and loading areas provided,
2. The adequacy of access points, including vehicular and pedestrian safety
3. The design, layout and massing of development so as to blend in with adjacent uses, the character of the area and the natural environment,
4. The adequacy of buffer plantings between commercial and residential areas
5. The availability of municipal services.

It would appear that the proposed building addition will meet the required commercial development requirements of the Official Plan as described above. An adequate parking area has been provided along the side and rear of the property, loading areas appear adequate, the existing laneway access will remain as existing, pedestrian access will continue as existing along the municipal sidewalk. The existing planter box immediately adjacent to the sidewalk is proposed to be removed with landscaping improvements to be completed along the front of the property. The design and layout of the building addition will bring the existing structure closer into conformity with surrounding development. The Addition will provide for a new street facade, will bring the building closer in line with the emerging building line closer to the street and will remove the parking area from the front of the building. These upgrades and improvements appear to add to the small town feel and character of the area. Some of the existing trees at the rear of the property will be removed to accommodate the new parking area extension, with some existing trees along the rear of the property will remain. Municipal water and sewer servicing are not proposed to change from existing.

Planning Staff recommend that a new Site Plan Agreement should be registered on the property to ensure that the development and use of this land is in accordance with the approved plans and reports.

A Public Meeting is not required under the Planning Act for Site Plan Approval. Official Plan policy states that Council may hold a public meeting prior to approval of any Site Plan for the purpose of informing and securing the views of the public. Based on the existing use of the property and the scale of what is proposed, Planning Staff recommend that a public meeting is not required.

It is our opinion that the proposed commercial development complies with the intent and direction of the Official Plan.

### **Town of Thornbury Zoning By-law 10-77**

The lands are zoned General Commercial 'C2' within the Town of Thornbury Zoning By-law 10-77. The General Commercial 'C2' zone permits a wide range of retail, service, office, restaurant, hotel, gas station, and other commercial uses.

Parking is required to be provided at 1 space per 14 square metres of restaurant space and 1 space per 18.5 square metres of retail commercial space. Based on the

proposed commercial floor space calculations, a total of 27 parking spaces are required. The Site Plan identifies a total of 28 spaces including two barrier free spaces. One loading space exists on the site, and is proposed to be relocated from the east side of the building to the west side of the building. The C2 zone also establishes maximum lot coverage, maximum height and minimum property setbacks. The proposed site plan appears to comply with these requirements. By-law 2008-46 which is known as the Commercial Front Yard Setback By-law for Thornbury establishes new minimum front yard requirements for building locations, parking areas and loading space areas. The proposed building addition will bring the existing building closer to the street than what exists, and will maintain the minimum required setbacks for the parking and loading space areas.

It is our opinion that the proposed General Commercial 'C2' Zone continues to be appropriate for the subject lands and that a Zoning By-law Amendment is not required in order to permit the proposed building addition and site improvements.

### **Additional Comments**

A Public Meeting has not been held and is not required for this application.

The project has been reviewed internally by Town Staff through the Development Review Committee (DRC) process. Town Staff are satisfied with the Stormwater and Drainage/Grading design for the lands. Some minor modifications to the latest proposed site plan will be required for Town Staff support. Town Staff have requested that the existing light posts along the western edge of the property be removed. Staff could also support the replacement of these light posts, provided that the new posts remain in character with the property and are maintained and fixed when required. The proposed garbage storage area is proposed in the centre of the drive aisle onto the property at the very back of the property. This location is in the prominent view from the street, and from people entering the property. The garbage storage area should be buffered or relocated outside of this prominent view. The existing sidewalk along King Street is 1.2 metres wide and should be upgraded to 2.0 metres to match the adjacent sidewalk to the west. These revisions are minor in nature and will be finalized into the Site Plan Agreement.

Development Charges are applicable for the proposed addition. Based on the current Development Charge By-law, Development Charges payable for the new commercial floor space are calculated at \$9,680.90 (92.8 sq m x \$104.32 / sq m) and shall be confirmed through the building permit.

Based on the foregoing, it is the opinion of Planning Staff that the proposed building addition conforms to the intent and direction of the Town of The Blue Mountains Official Plan, Zoning By-law and represents good planning. Therefore Planning Staff support this application for consent subject to the comments and conditions noted in this report.

## **C. The Blue Mountains' Strategic Plan**

These changes continue to be consistent with Strategic Plan goal #1:

*"Managing growth to ensure the ongoing health and prosperity of the community."*

## **D. Budget Impact**

NIL

## **E. Attached**

1. Site Plan

Respectfully submitted,

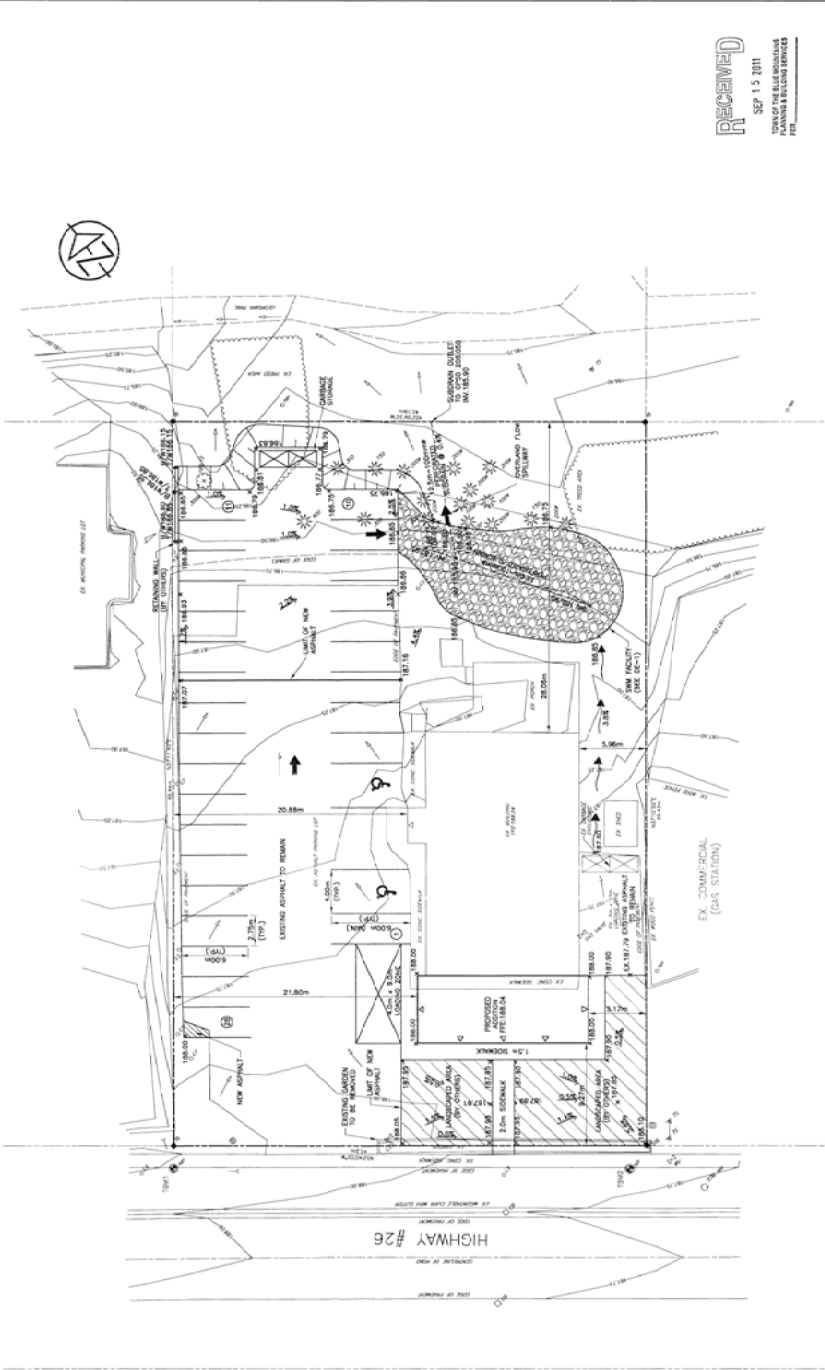
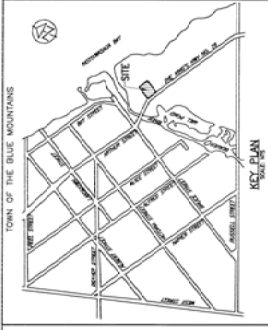
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# Site Plan



**SITE STATISTICS**

(FROM 1/1 PLAN OF LOT 24 AND PART OF LOT 26, NORTHWEST OF KING STREET, TOWN OF THE BLUE MOUNTAINS)

DESCRIPTION	AREA (sq.m.)	AREA (sq.ft.)
EXISTING BUILDING AREA TO REMAIN	14.18	152.8
NEW BUILDING AREA	22.78	245.8
TOTAL BUILDING AREA	36.96	398.6
LANDSCAPED AREA	10.00	107.6
TOTAL PROPERTY AREA	46.96	506.2
EXISTING DRIVEWAY AREA	1.00	10.8
NEW DRIVEWAY AREA	1.00	10.8
TOTAL DRIVEWAY AREA	2.00	21.6
REQUIRED PARKING	1	10.8
REQUIRED LOADING ZONE	1	10.8
PROPOSED PARKING	2	21.6
PROPOSED LOADING ZONE	2	21.6
PROPOSED DRIVEWAY	2	21.6
PROPOSED DRIVEWAY	1	10.8



**RECEIVED**  
SEP 12 2011  
TOWN OF THE BLUE MOUNTAINS  
PLANNING & BUILDING SERVICES  
P.O. BOX 1000  
BLUE MOUNTAINS, ONTARIO

**C.C. Tatham & Associates Ltd.**  
Consulting Engineers

SCALE: 1:200  
EDITION: 03  
DRAWING: BA

CHECKED: RS  
DATE: AUGUST 2011

JOB NO.: 11112  
DWG.: SP-1

**PIPER'S RESTAURANT ADDITION**  
TOWN OF THE BLUE MOUNTAINS

**SITE PLAN**



APPROVED

NO.	REVISIONS	DATE	BY
1.	LANDSCAPING AND SIDEWALK AT FRONT	SEP 14/11	RS

CONSTRUCTION MUST VERIFY ALL DIMENSIONS AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF THE BLUE MOUNTAINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF THE BLUE MOUNTAINS.

TBM1 ELEVATION 188.4150  
NAIL & WOODER IN FACE OF WEST PIERCE WEST OF  
TBM2 ELEVATION 188.2400  
NAIL & WOODER IN FACE OF WEST PIERCE EAST OF  
SITE 5m SOUTH END OF PROPOSED FIREWALL