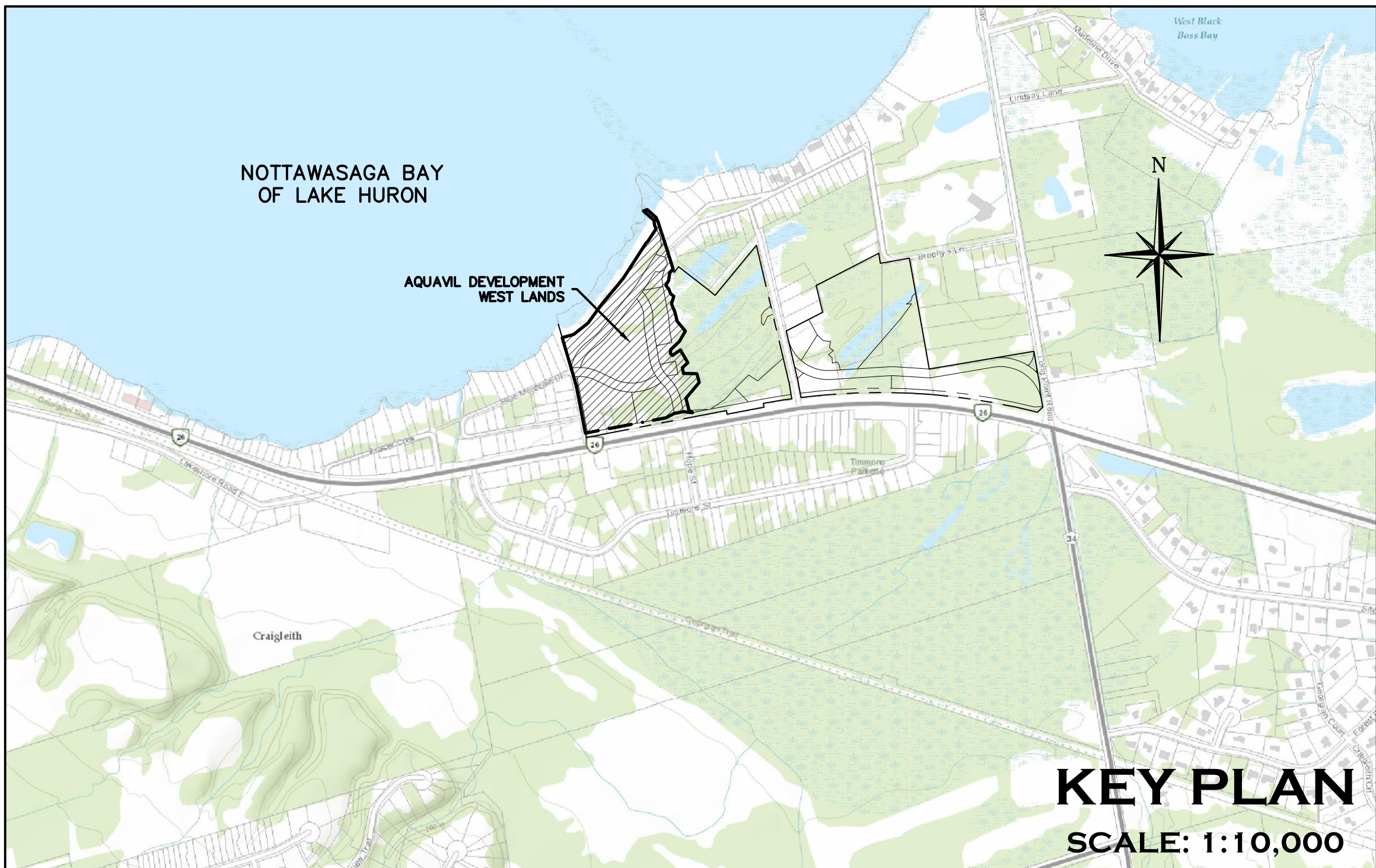


AQUAVIL DEVELOPMENT WEST LANDS

TOWN OF THE BLUE MOUNTAINS COUNTY OF GREY



MUNICIPALITY

THE TOWN OF THE BLUE MOUNTAINS
32 MILL STREET, BOX 310
THORNBURY, ONTARIO, N0H 2P0

DEVELOPER

ROYALTON HOMES INC.
10114 HIGHWAY 26, UNIT 4
COLLINGWOOD, ONTARIO L9Y 3Z1

DEVELOPER'S ENGINEER



ADMIRAL BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON, L9Y 1A1
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

LANDSCAPE ARCHITECT

DRAWING

TITLE

C100	TITLE SHEET
DP	DRAFT PLAN
C101	GENERAL SERVICING PLAN
C102A	GRADING PLAN
C102B	GRADING PLAN
C102C	GRADING PLAN
C103A	PLAN & PROFILE BLUE MOUNTAIN DRIVE (STA. 2+840 – 3+020)
C103B	PLAN & PROFILE STREET C (STA. 0+960 – 1+215)
C103C	PLAN & PROFILE STREET D (STA. 1+980 – 2+315)
C103D	PLAN & PROFILE STREET E (STA. 2+997 – 3+340)
C104	EROSION AND SEDIMENT CONTROL PLAN
C106	STORM WATER MANAGEMENT FACILITY
C107	SANITARY DRAINAGE PLAN
C108A	STORM DRAINAGE PLAN
C108B	STORM DRAINAGE PLAN
C109	WATER DISTRIBUTION PLAN
TMP1	TREE MANAGEMENT PLAN

MASTER LEGEND

EXISTING FEATURES (EX.)

XXX.X	EX. CONTOUR
+XXX.XX	EX. GRADE
---	EX. TREELINE
---	EX. WATERCOURSE
---	EX. DITCH
XW	EX. WATERMAIN
W	EX. WATER SERVICE
XSAN	EX. FIRE HYDRANT & VALVE
XTM	EX. SANITARY SEWER & MANHOLE
XTM	EX. SANITARY FORCEMAIN
S	EX. SANITARY SERVICE
XS	EX. STORM SEWER & MANHOLE
S	EX. STORM CATCHBASIN
XS	EX. STORM DOUBLE CATCHBASIN
S	EX. STORM CATCHBASIN MANHOLE
XS	EX. STORM DOUBLE CATCHBASIN MANHOLE
XSAS	EX. GAS MAIN
XB	EX. BELL LINE
B	EX. BELL PEDESTAL
C	EX. CABLE TELEVISION PEDESTAL
HP	EX. HYDRO POLE
L	EX. LIGHT STANDARD
S	EX. SIGN
B	EX. BUILDING
BM#	EX. BENCHMARK NUMBER & LOCATION
BH#	EX. BOREHOLE NUMBER & LOCATION

PROPOSED FEATURES (PR.)

---	PR. PROPERTY LIMITS
+XXX.XX	PR. ELEVATION
+XXX.XX	PR. ELEVATION (MATCH EX. ELEVATION)
XXX.XX	PR. SWALE & SLOPE
---	PR. DITCH DRAINAGE
W	PR. WATERMAIN & VALVE
W	PR. WATER SERVICE
W	PR. FIRE HYDRANT & VALVE
W	PR. WATER VALVE CHAMBER
W	PR. WATER QUALITY TESTING STATION
XSAN	PR. SANITARY SEWER & MANHOLE
XTM	PR. SANITARY FORCEMAIN
S	PR. SANITARY SERVICE
S	PR. SANITARY CATCHMENT
11	PR. CATCHMENT AREA ID
0.14	PR. AREA (ha)
0.14	PR. POPULATION (3.5 p.p.u.)
XS	PR. STORM SEWER & MANHOLE
S	PR. CATCHBASIN
S	PR. DOUBLE CATCHBASIN
S	PR. CATCHBASIN MANHOLE
S	PR. DOUBLE CATCHBASIN MANHOLE
S	PR. STORM CATCHMENT
102	PR. CATCHMENT AREA ID
0.23	PR. RUNOFF COEFFICIENT
0.78	PR. DRAINAGE AREA (ha)
C	PR. CURB CUT
C	PR. CANADA POST COMMUNITY MAIL BOX
T	PR. TRANSFORMER
S	PR. STOP SIGN
N	PR. NAME SIGN
N	PR. NO PARKING SIGN
F	PR. FENCE
F	PR. BUILDING ENVELOPE
S	PR. LIGHT DUTY SILT FENCE
S	PR. HEAVY DUTY SILT FENCE
S	PR. STRAW BALE CHECK FLOW
S	PR. ROCK CHECK DAM
S	PR. SLOPE (3:1 MAX.)
S	PR. TREE PRESERVATION AREA
S	PR. TOPSOIL STOCKPILE LOCATION

PROJECT No.: 876-4866
1ST SUBMISSION



DRAFT PLAN OF SUBDIVISION
LOTS 59, 110, 111 AND 112
PART OF LOTS 86, 87, 88, 89, 113 AND 114
PART OF BLOCK D (CLOSED BY BY-LAW)
REGISTERED PLAN 529
GEOGRAPHIC TOWNSHIP OF COLLINGWOOD
TOWN OF THE BLUE MOUNTAINS
COUNTY OF GREY

SCALE 1:1000
20 10 0 20 40 60 Metres
LLOYD & PURCELL A DIVISION OF SCHAEFER DZALDOV BENNETT LTD.

LAND USE STATISTICS	AREA
STREETS A, B, C, D AND E	2.9 ha
SINGLE FAMILY DWELLINGS (BLOCKS 5, 17 AND 18)	1.3 ha
TOWNHOMES (BLOCKS 1, 3, 4, 11 AND 12)	4.1 ha
MIX-USE RESIDENTIAL/COMMERCIAL (BLOCKS 19 AND 24)	1.1 ha
COMMERCIAL (BLOCKS 21 AND 25)	3.2 ha
INSTITUTIONAL (BLOCKS 15 AND 23)	0.7 ha
OPEN SPACE/PARK (BLOCKS 2, 6 TO 10, 16, 20, 22)	10.9 ha
STORM WATER MANAGEMENT (BLOCK 13)	1.2 ha
ROAD WIDENING (BLOCK 14)	0.1 ha

PLANNING ACT, SECTION 50-2	
(a) AS SHOWN ON DRAFT PLAN	(h) MUNICIPAL PIPED WATER AT THE TIME OF DEVELOPMENT
(b) AS SHOWN ON DRAFT PLAN	(i) SANDY LOAM
(c) AS SHOWN ON DRAFT PLAN	(j) AS SHOWN ON DRAFT PLAN
(d) SEE SCHEDULE OF LAND USE	(k) AVAILABLE
(e) AS SHOWN ON DRAFT PLAN	(l) AS SHOWN ON DRAFT PLAN
(f) AS SHOWN ON DRAFT PLAN	(m) AS SHOWN ON DRAFT PLAN
(g) AS SHOWN ON DRAFT PLAN	(n) AS SHOWN ON DRAFT PLAN

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THE BOUNDARIES OF LAND TO BE SUBDIVIDED AND THEIR RELATIONSHIP TO THE ADJACENT LANDS ARE CORRECTLY SHOWN.
... DAY OF ... 2012. ...
T. M. PURCELL O.L.S.

DRAFT PLAN OF SUBDIVISION:
PREPARED FOR SUBMISSION August 15, 2012
... DAY OF ... 2012. ...

OWNER'S CERTIFICATE:
WE, THE UNDERSIGNED BEING THE REGISTERED OWNERS OF THE SUBJECT LANDS HEREBY AUTHORIZE LLOYD & PURCELL LTD., HENSEL DESIGN GROUP INC. AND LOFT PLANNING TO PREPARE A DRAFT PLAN OF SUBDIVISION AND TO MAKE APPLICATION TO THE REGIONAL COUNTY OF GREY FOR APPROVAL THEREOF.
... DAY OF ... 2012. ...
MERIDIAN CREDIT UNION LIMITED
IN ITS CAPACITY AS MORTGAGEE
IN POSSESSION

11	Apr. 29, 2014	Revised Land Use Statistics, Streets: Remove F, added E
10	Oct. 31, 2013	Block 22 removed, block 26 renamed block 22, block 21 area increase by 0.2ha
9	15/08/12	Revised alignment street C, d e; remove block 23; add wave upturn line
8	28/06/12	Removed Wet Land Area Between Blocks 21 and 22 Extending into Street B
7	26/06/12	Added Land use Statistics and Areas to Face of Plan
6	30/05/12	Add Dimensions to Proposed Block Fabric
5	29/05/12	Add contours and spot elevations
4	01/05/12	revised storm water blocks; added wetland/topo; change some lots to blocks, etc
3	04/04/12	RESCALED DRAWING FROM 1:2000 TO 1:1000
2	02/04/12	REVISED AS PER CLIENTS
1	30/03/12	ISSUED FOR CLIENT REVIEW
No.	Date	

FOR BEARING COMPARISONS, A ROTATION OF 0°28'40" COUNTER-CLOCKWISE WAS APPLIED TO ASTROMERIC BEARINGS ON REGISTERED PLAN 529 TO CONVERT TO UTM GRID BEARINGS.

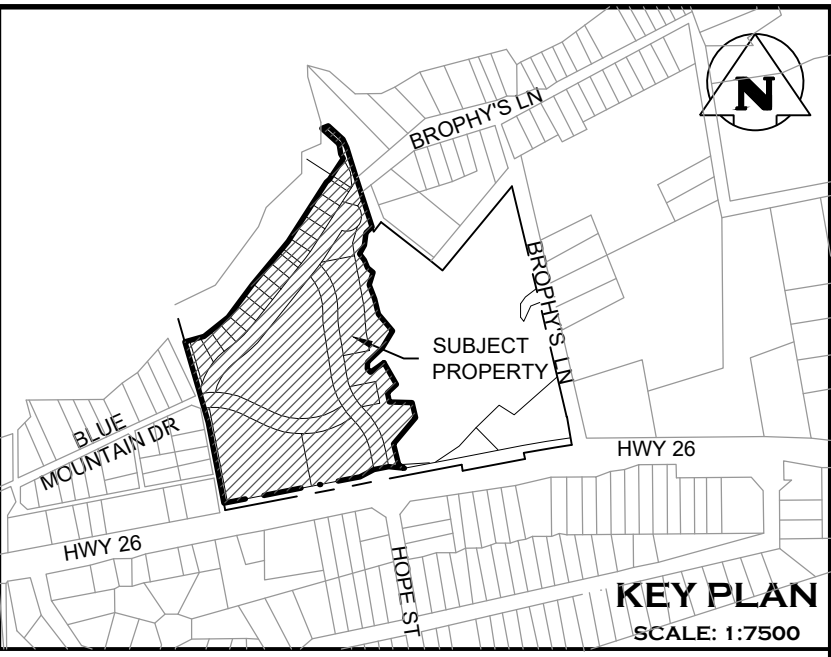
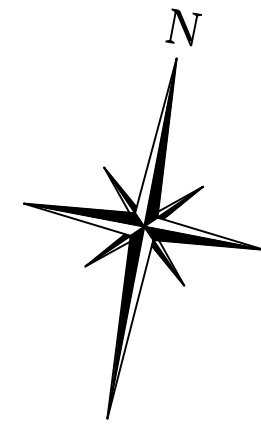
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LLOYD & PURCELL
A DIVISION OF SCHAEFER DZALDOV BENNETT LTD.
ONTARIO LAND SURVEYORS
1228 CORHAM STREET, UNIT 28, NEWMARKET, ONTARIO, L3Y 8Z1
(905) 955-0416 Fax (905) 853-5817 EMAIL: l.purcell@landsurveyors.ca
TOLL FREE 1 (855) 779-6500
WWW.ONTARIOLANDSURVEYORS.CA

CAD: DL PC: LVS: 12-176
CALC: RMCK CHK'D: RMCK/TMP FILE: PLAN 529
1

LLOYD & PURCELL
Printed: 2011-09-12

NOTE:
CATCH BASINS: CB2, CB3, CB9, CB11A, CB11B, DCB4A,
AND DCB4B TO BE INSTALLED WITH CB SHIELDS.
CATCH BASIN MANHOLES: DCB2, DCB3, DCBMH5, AND
DCBMH10 TO BE INSTALLED WITH CBMH SHIELDS.



LEGEND
SUBJECT TO FUTURE SITE PLAN APPLICATION

20 0m 20 40 60 80
SCALE: 1:1000

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BENCHMARKS
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE BENCHMARK No. 720311 ELEVATION 181.032 m.
BOUNDARY AND TOPOGRAPHIC SURVEY OF LOTS 59, 110, 111, AND 112, PART OF LOTS 86, 87, 88, 89, 113 AND 114 AND PART OF BLOCK D CLOSED BY BYLAW No. 67-19, INST. No. 205366 REGISTERED PLAN 529
PREPARED BY KRCMAR SURVEYORS LTD. IN SEPTEMBER, 2007 (REFER TO SHEET 1-3 JOB # 07-153)

Town

No.	ISSUE	DATE: MM/DD/YYYY
1	ISSUED FOR 1st SUBMISSION	OCT/26/2021

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

Project
**AQUAVIL DEVELOPMENT – WEST LANDS
THE BLUE MOUNTAIN**
Drawing
GENERAL SERVICING PLAN



ADMIRAL BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON, L9Y 1A1
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

Drawn By	V.P.	Design By	V.P./B.H.	Project	876-4866
Check By	B.H.	Check By	B.H.	Scale	1:1000
				Drawing	C101



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Project

AQUAVIL DEVELOPMENT – WEST LANDS
THE BLUE MOUNTAIN

Drawing

GRADING PLAN

C

CROZIER

CONSULTING ENGINEERS

ADAMIRAL BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON, L9Y 1A1
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

Drawn By

V.P.

Design By

V.P./B.H.

Project

876-4866

Check By

B.H.

Check By

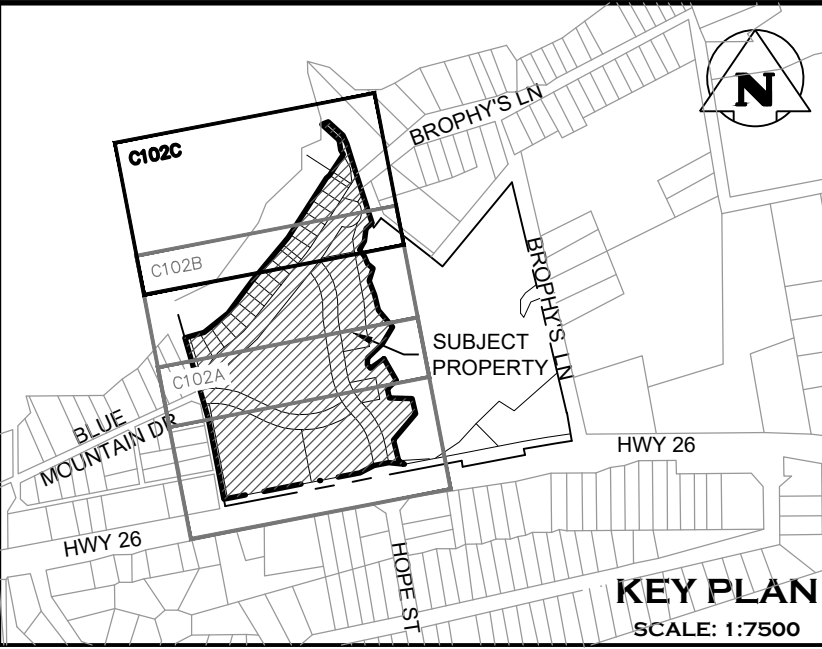
B.H.

Scale

1:500

Drawing

C102B



LEGEND

SUBJECT TO FUTURE SITE PLAN APPLICATION

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Town

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Project

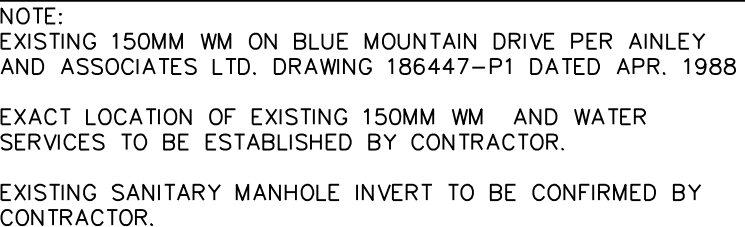
AQUAVIL DEVELOPMENT – WEST LANDS
THE BLUE MOUNTAIN

Drawing

GRADING PLAN

ADMIRAL BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON, L9Y 1A1
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

Drawn By	V.P.	Design By	V.P./B.H.	Project	876-4866
Check By	B.H.	Check By	B.H.	Scale	1:500
				Drawing	C102C



BENCHMARKS
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE BENCHMARK
M 720311 ELEVATION 181.032 m.

BOUNDARY AND TOPOGRAPHIC SURVEY OF LOTS 59, 110, 111, AND
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PLAN 529
PREPARED BY KRCMAR SURVEYORS LTD. IN SEPTEMBER, 2007 (REFER
TO SHEET 1-3 JOB # 07-153)

[illegible]

Project	AQUAVIL DEVELOPMENT – WEST LANDS THE BLUE MOUNTAIN
Drawing	PLAN AND PROFILE BLEW MOUNTAIN DRIVE AND BLOCK 5 SWALE STA. 2+840 TO STA. 3+020



CROZIER

CONSULTING ENGINEERS

ADMIRAL BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON, L9Y 1A1
705 446-3510 T
705 446-3520 F
WWW.CROZIER.CA
INFO@CROZIER.CA

By **V.P.** Design By **V.P./B.H.**

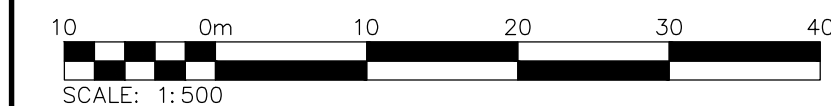
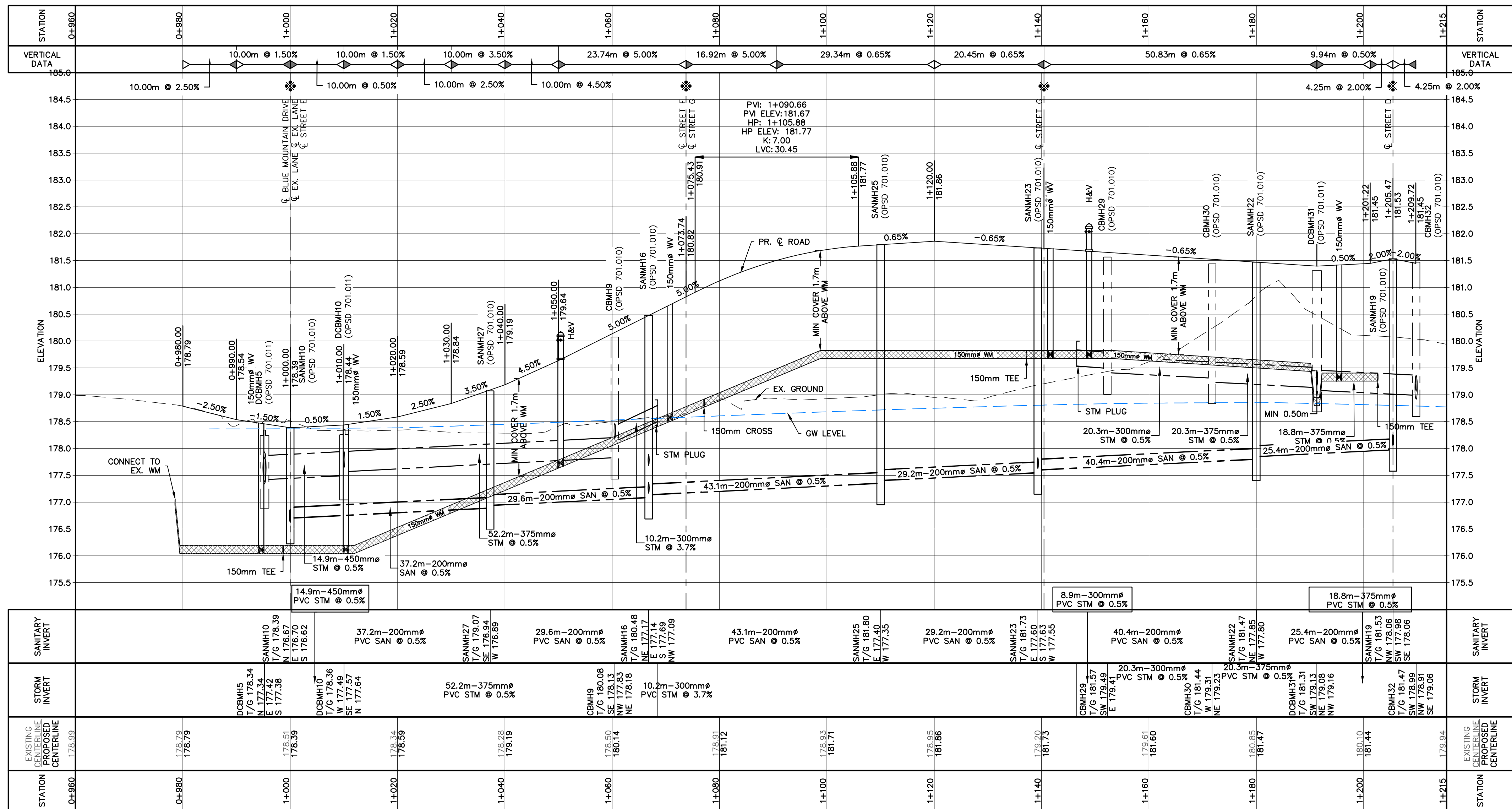
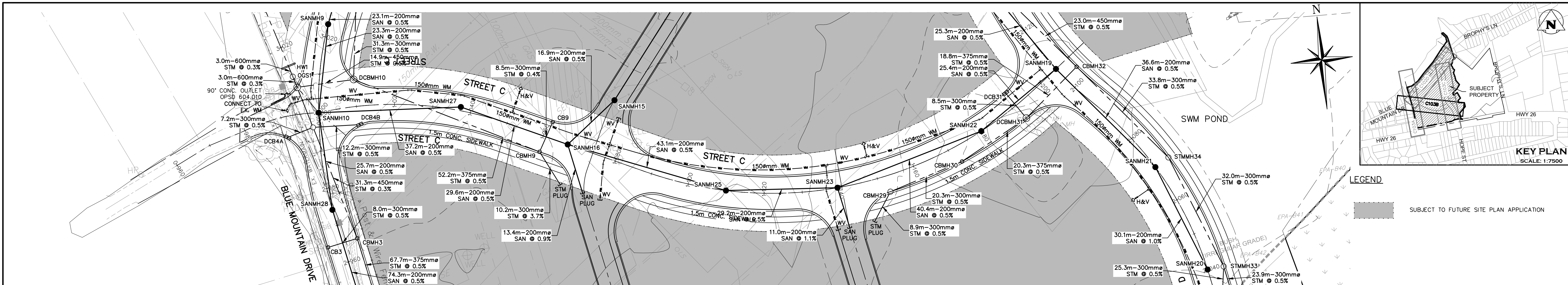
By **B.H.** Check By **B.H.**

Project

Scale **H=1:500**
V=1:80

876-4866

C103A



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PREPARED BY KRCMAR SURVEYORS LTD. IN SEPTEMBER, 2007 (REFER TO SHEET 1-3 JOB # 07-153)

Town

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PRELIMINARY
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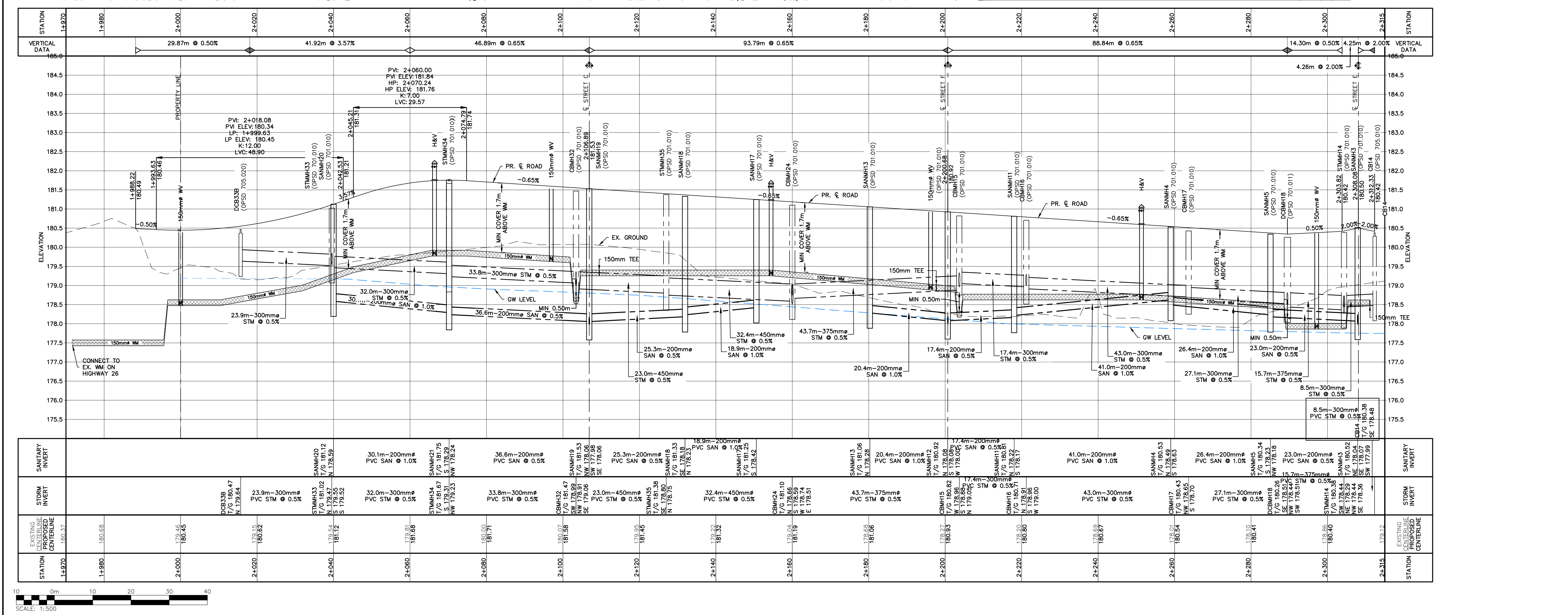
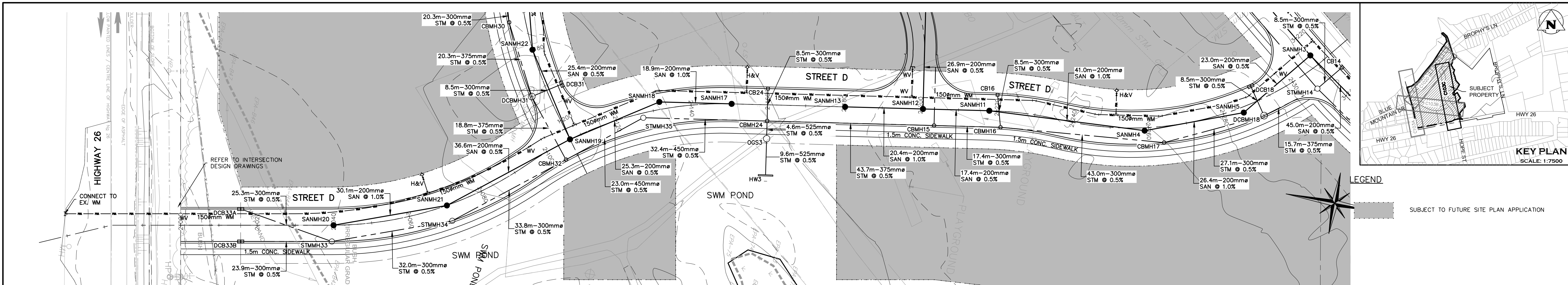
Project: **AQUAVIL DEVELOPMENT – WEST LANDS
THE BLUE MOUNTAIN**

Drawing: **PLAN AND PROFILE
STREET C
STA. 0+960 TO STA. 1+215**



Drawn By: V.P. Design By: V.P./B.H. Project: **876-4866**
Check By: B.H. Check By: B.H. Scale: H1:500 V1:50 Drawing: **C103B**

ADMIRAL BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON, L9Y 1A1
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
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Town

No.	ISSUE	DATE: MM/DD/YYYY
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Engineer

PRELIMINARY

NOT TO BE USED FOR CONSTRUCTION

Project

AQUAVIL DEVELOPMENT – WEST LANDS

THE BLUE MOUNTAIN

PLAN AND PROFILE

STREET D

STA. 1+980 TO STA. 2+315

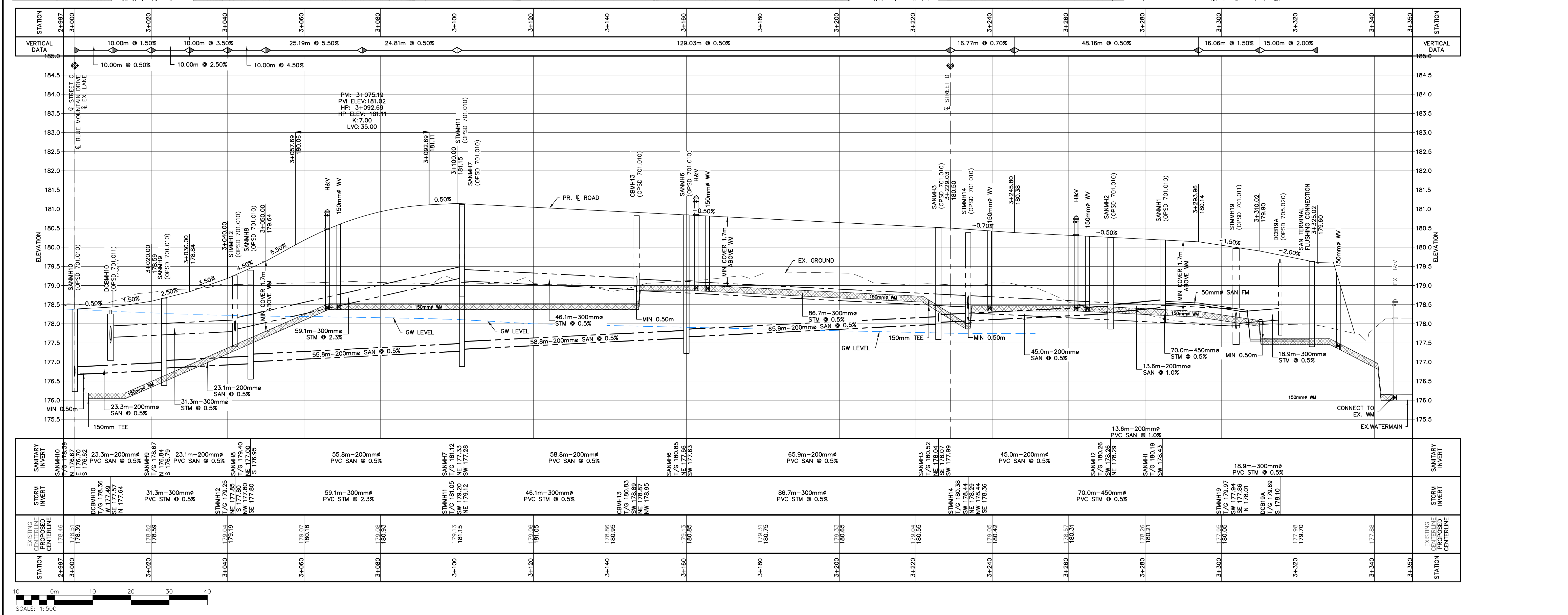
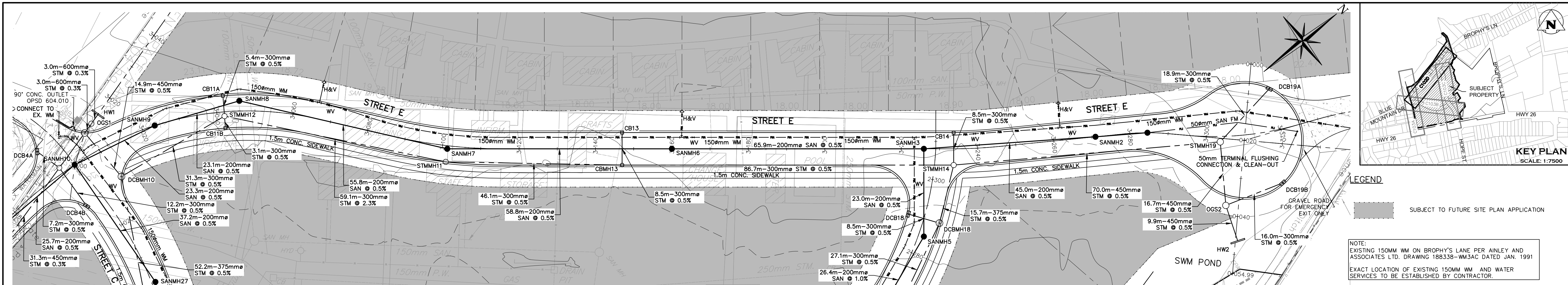
Drawn By: V.P. Design By: V.P./B.H. Project: **876-4866**

Check By: B.H. Check By: B.H. Scale: H1:500 V1:50 Drawing: **C103C**

CROZIER

CONSULTING ENGINEERS

ADMIRAL BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON, L9Y 1A1
705 446-3510 T
705 446-3520 F
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PREPARED BY KRCMAR SURVEYORS LTD. IN SEPTEMBER, 2007 (REFER TO SHEET 1-3 JOB # 07-153)

2

1

ISSUED FOR 1st SUBMISSION

OCT/26/2021

PRELIMINARY

NOT TO BE USED FOR CONSTRUCTION

Project

AQUAVIL DEVELOPMENT – WEST LANDS
THE BLUE MOUNTAIN

Drawing

PLAN AND PROFILE
STREET E
STA. 2+997 TO STA. 3+340

C

CROZIER

CONSULTING ENGINEERS

Admiral Building
1 First Street, Suite 200
Collingwood, ON, L9Y 1A1
705 446-3510 T
705 446-3520 F
info@cfcrozier.ca

Drawn By

V.P.

Design By

V.P./B.H.

Project

876-4866

Check By

B.H.

Check By

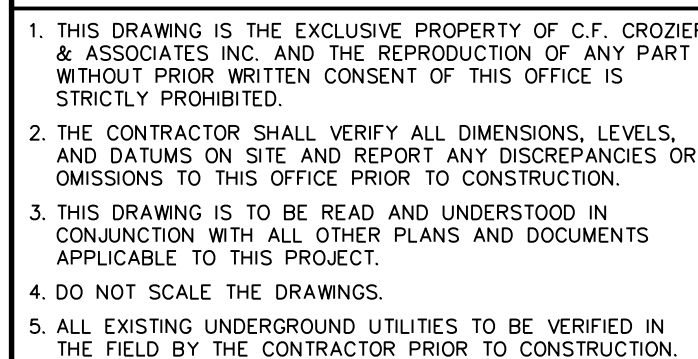
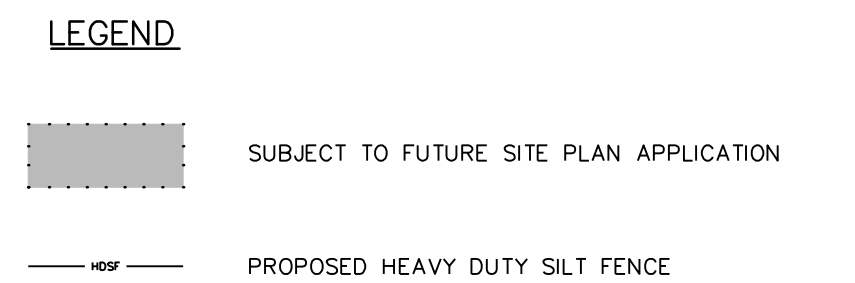
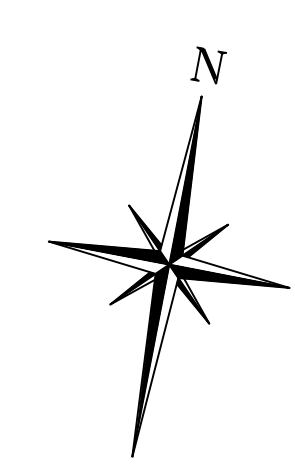
B.H.

Scale

H: 1:500
V: 1:50

Drawing

C103D



BENCHMARKS
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE BENCHMARK
N_g 720311 ELEVATION 181.032 m.

BOUNDARY AND TOPOGRAPHIC SURVEY OF LOTS 59, 110, 111, AND
112, PART OF LOTS 86, 87, 88, 89, 113 AND 114 AND PART OF
BLOCK D CLOSED BY BYLAW N_g 67-19, INST. N_g 205366 REGISTERED
PLAN 529
PREPARED BY KRCMAR SURVEYORS LTD. IN SEPTEMBER, 2007 (REFER
TO SHEET 1-3 JOB # 07-153)

[illegible]

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

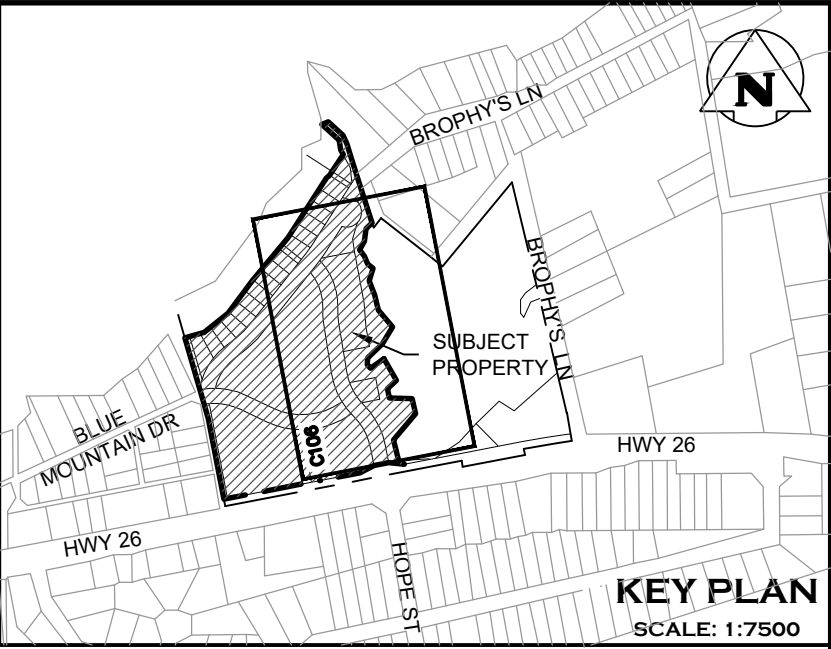
Project	AQUAVIL DEVELOPMENT – WEST LANDS THE BLUE MOUNTAIN
Drawing	EROSION AND SEDIMENT CONTROL PLAN



CROZIER

CONSULTING ENGINEERS

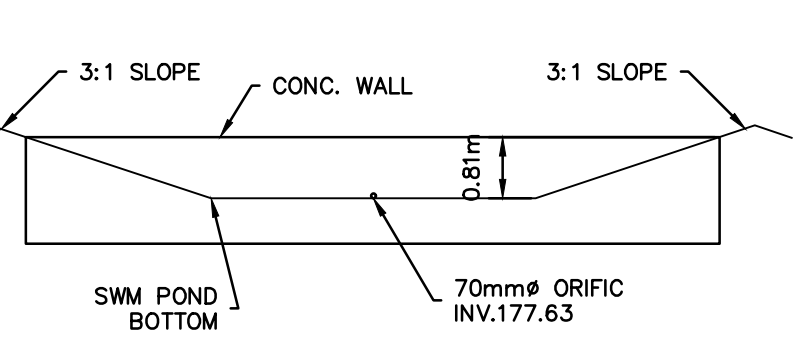
ADMIRAL BUILDING
 1 FIRST STREET, SUITE 200
 COLLINGWOOD, ON L3Y 1A1
 705 446-3510 T
 705 446-3520 F
WWW.CCROZIER.CA
INFO@CCROZIER.CA



LEGEND

SUBJECT TO FUTURE SITE PLAN APPLICATION

CONC. WALL WITH ORIFICE



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- THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.
- DO NOT SCALE THE DRAWINGS.
- ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

BENCHMARKS

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE BENCHMARK No. 720311 ELEVATION 181.032 m.

BOUNDARY AND TOPOGRAPHIC SURVEY OF LOTS 86, 87, 88, 89, 113 AND 114 AND PART OF BLOCK D CLOSED BY BYLAW No. 67-19, INST. No. 205366 REGISTERED PLAN 529

PREPARED BY KRCMAR SURVEYORS LTD. IN SEPTEMBER, 2007 (REFER TO SHEET 1-3 JOB # 07-153)

Town

No.	ISSUE	DATE: MM/DD/YYYY
1	ISSUED FOR 1st SUBMISSION	OCT/26/2021

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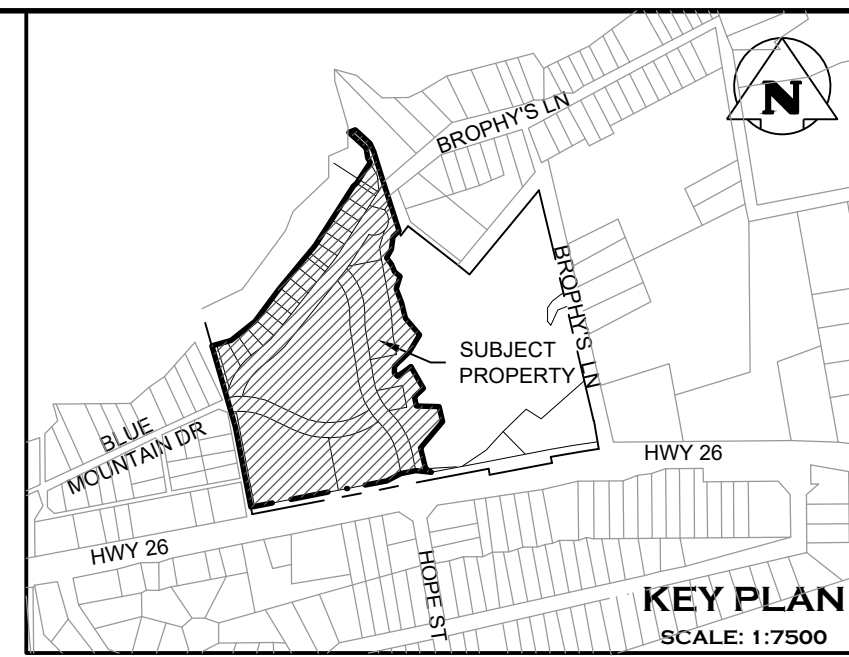
AQUAVIL DEVELOPMENT – WEST LANDS
THE BLUE MOUNTAIN

STORM WATER MANAGEMENT FACILITY



ADMIRAL BUILDING
1 FIRST STREET, SUITE 200
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Drawn By	V.P.	Design By	V.P./B.H.	Project	876-4866
Check By	B.H.	Check By	B.H.	Scale	1:500
				Drawing	C106



LEGEND

SUBJECT TO FUTURE SITE PLAN APPLICATION

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PREPARED BY KRCMAR SURVEYORS LTD. IN SEPTEMBER, 2007 (REFER TO SHEET 1-3 JOB # 07-153)

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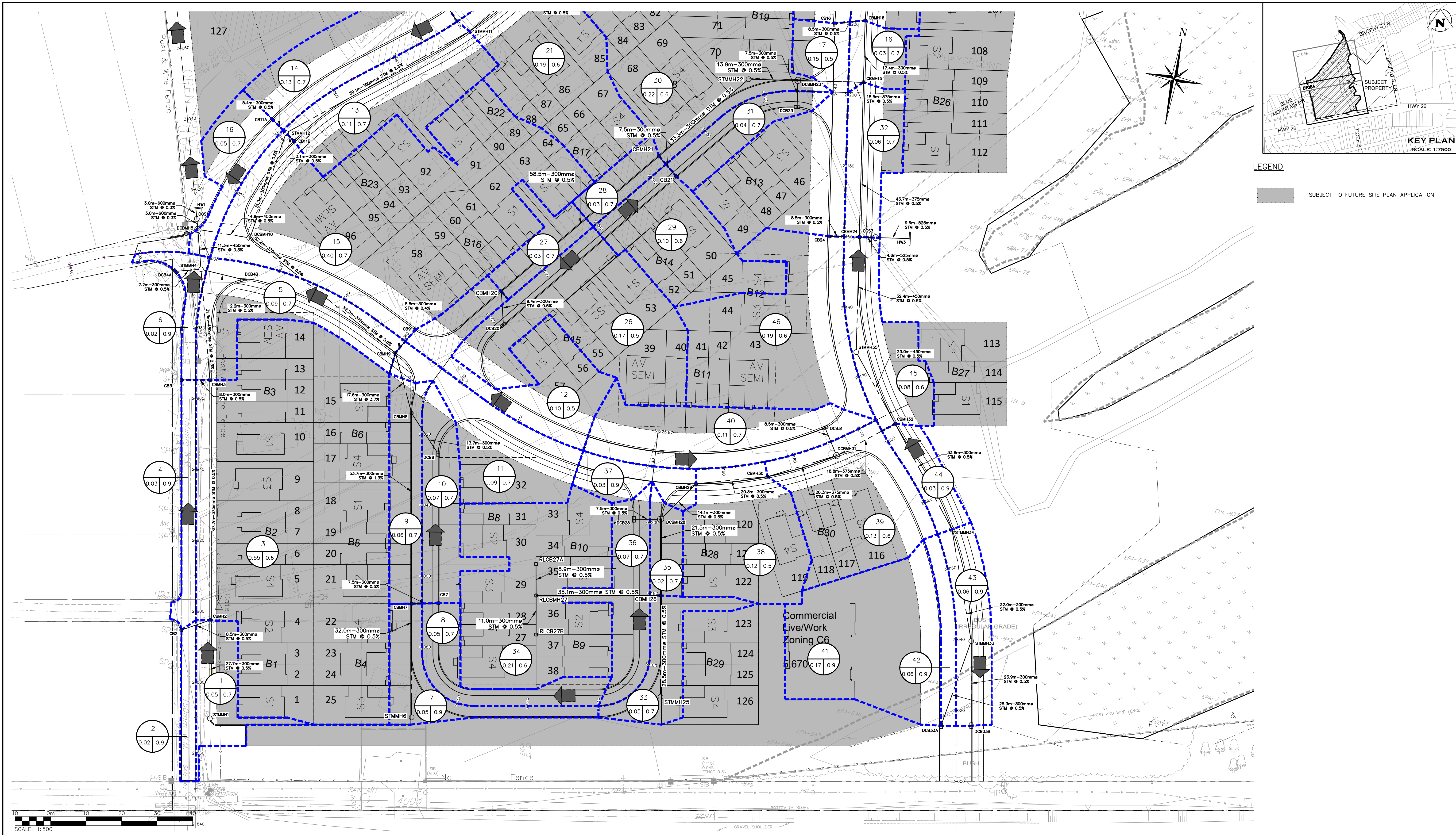
NOT TO BE USED FOR CONSTRUCTION

Project: AQUAVIL DEVELOPMENT – WEST LANDS
THE BLUE MOUNTAIN

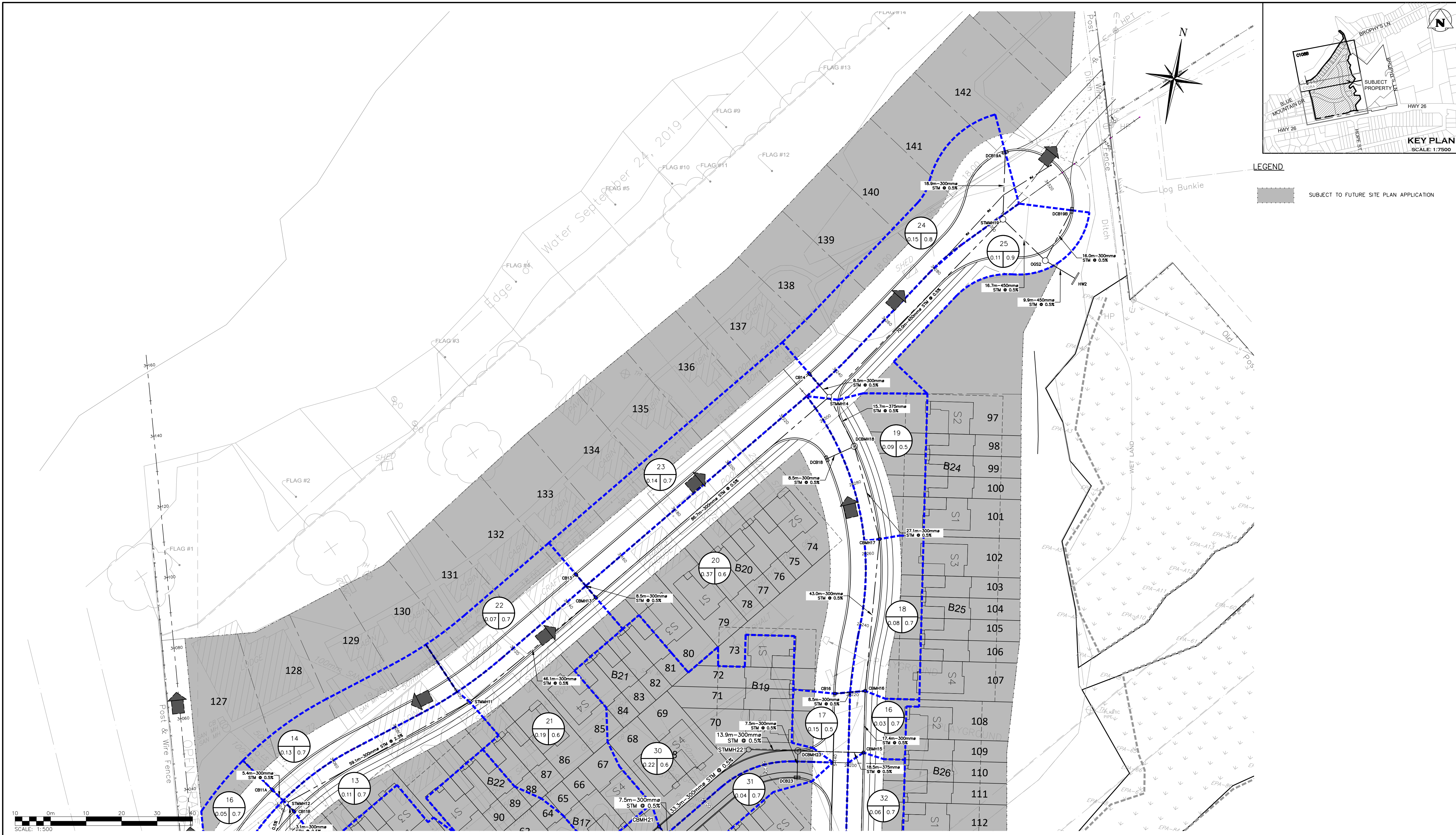
Drawing: SANITARY DRAINAGE PLAN

ADMIRAL BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON, L9Y 1A1
705 446-3510 T
705 446-3520 F
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Drawn By	V.P.	Design By	V.P./B.H.	Project	876-4866
Check By	B.H.	Check By	B.H.	Scale	1:1000
				Drawing	C107



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PRELIMINARY

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Project

AQUAVIL DEVELOPMENT – WEST LANDS
THE BLUE MOUNTAIN

Drawing

STORM DRAINAGE PLAN

C

CROZIER

CONSULTING ENGINEERS

Drawn By

V.P.

Check By

B.H.

Design By

V.P./B.H.

Check By

B.H.

Project

876-4866

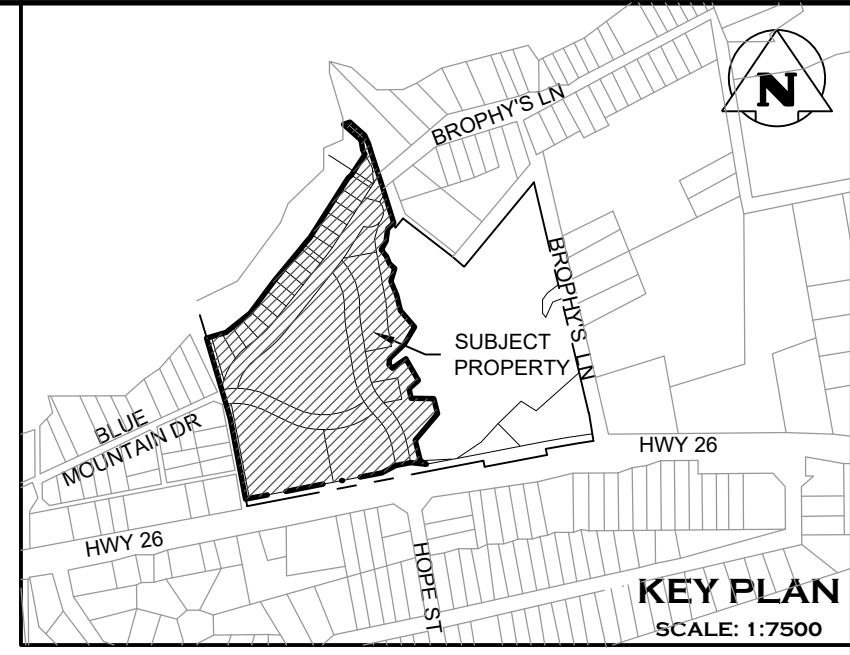
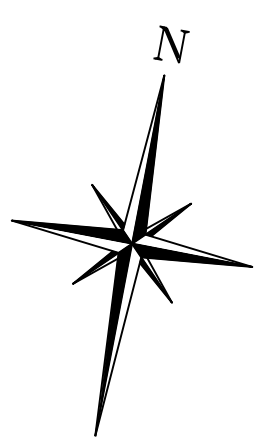
Scale

1:500

Drawing

C108B

ADAMIRAL BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON, L9Y 1A1
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
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LEGEND

SUBJECT TO FUTURE SITE PLAN APPLICATION

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AQUAVIL DEVELOPMENT – WEST LANDS
THE BLUE MOUNTAIN

Drawing

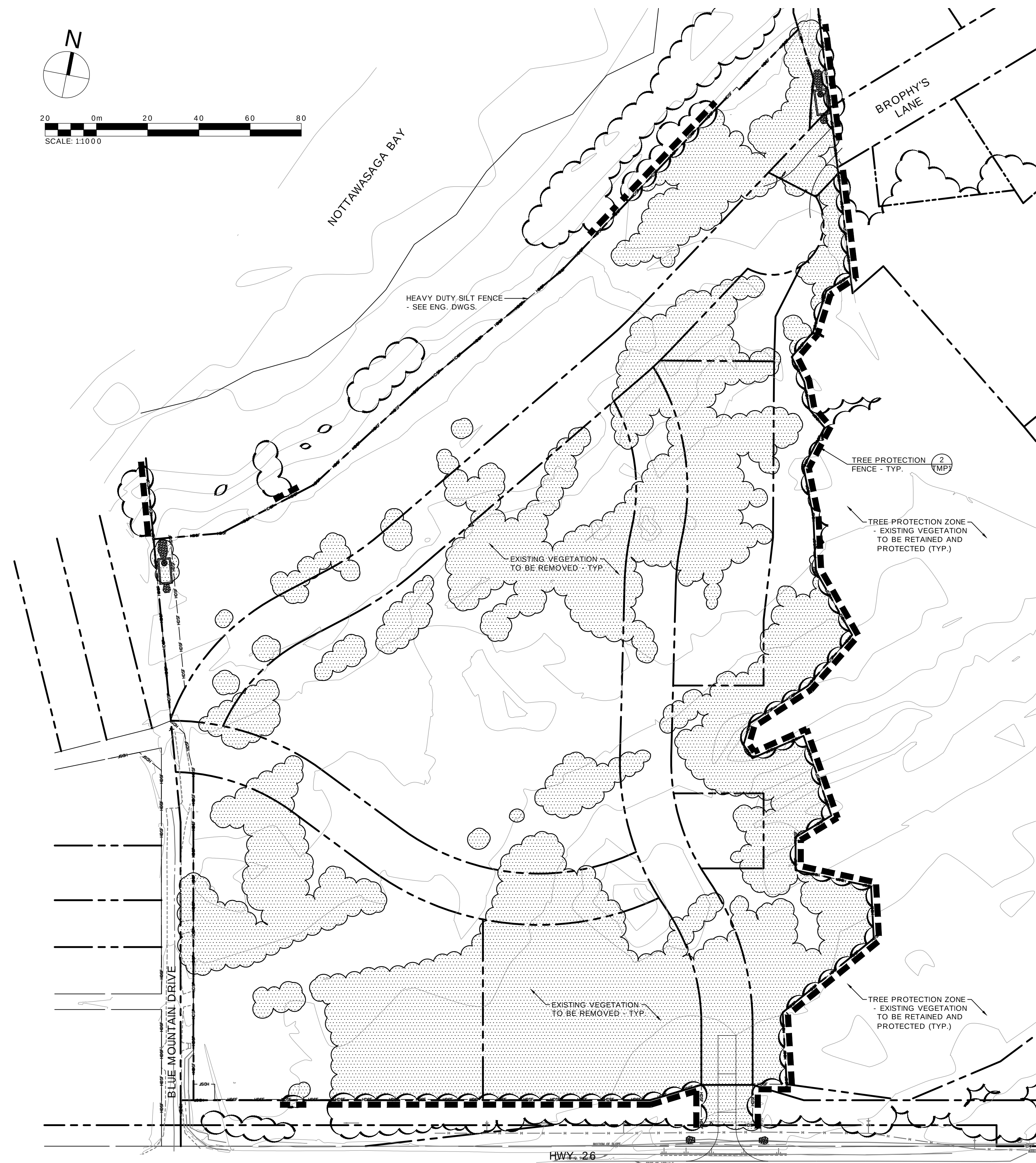
WATER DISTRIBUTION PLAN



CROZIER
CONSULTING ENGINEERS

ADAM BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON L9Y 1A1
705 446-3510 T
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WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

Drawn By	V.P.	Design By	V.P./B.H.	Project	876-4866
Check By	B.H.	Check By	B.H.	Scale	1:1000
				Drawing	C109



	PROPERTY BOUNDARY
	HEAVY DUTY SILT FENCE - SEE ENG. DWGS
	TREE PROTECTION FENCE
	EXISTING VEGETATION TO BE REMOVED
	EDGE OF VEGETATION TO BE RETAINED AND PROTECTED

1.0 EXISTING VEGETATION

1. AS DESCRIBED IN THE UPDATED EIS (SEPTEMBER, 2019) THE VEGETATION IS COMPOSED OF EASTERN WHITE CEDAR, RED PINE, SCOTS PINE, WHITE SPRUCE, PAPER BIRCH, GREEN ASH, BLACK ASH, WHITE ELM, BASSWOOD, RED MAPLE, MANITOBA MAPLE, TREMBLING ASPEN, CHOKE CHERRY, RED-OSIER DOGWOOD, ROUNDLEAFED DOGWOOD, SILKY DOGWOOD, SAND DUNE WILLOW, WHITE WILLOW. NO SPECIES AT RISK WERE IDENTIFIED ON SUBJECT SITE.

2.0 TREE REMOVALS

1. ALL EXISTING TREES LOCATED WITHIN THE VEGETATION TO BE REMOVED AREA ARE TO BE REMOVED DUE TO CONFLICTS WITH THE PROPOSED GRADING AND/OR SERVING OF THE SITE DEVELOPMENT. THE CONFLICTS ARE UNAVOIDABLE.

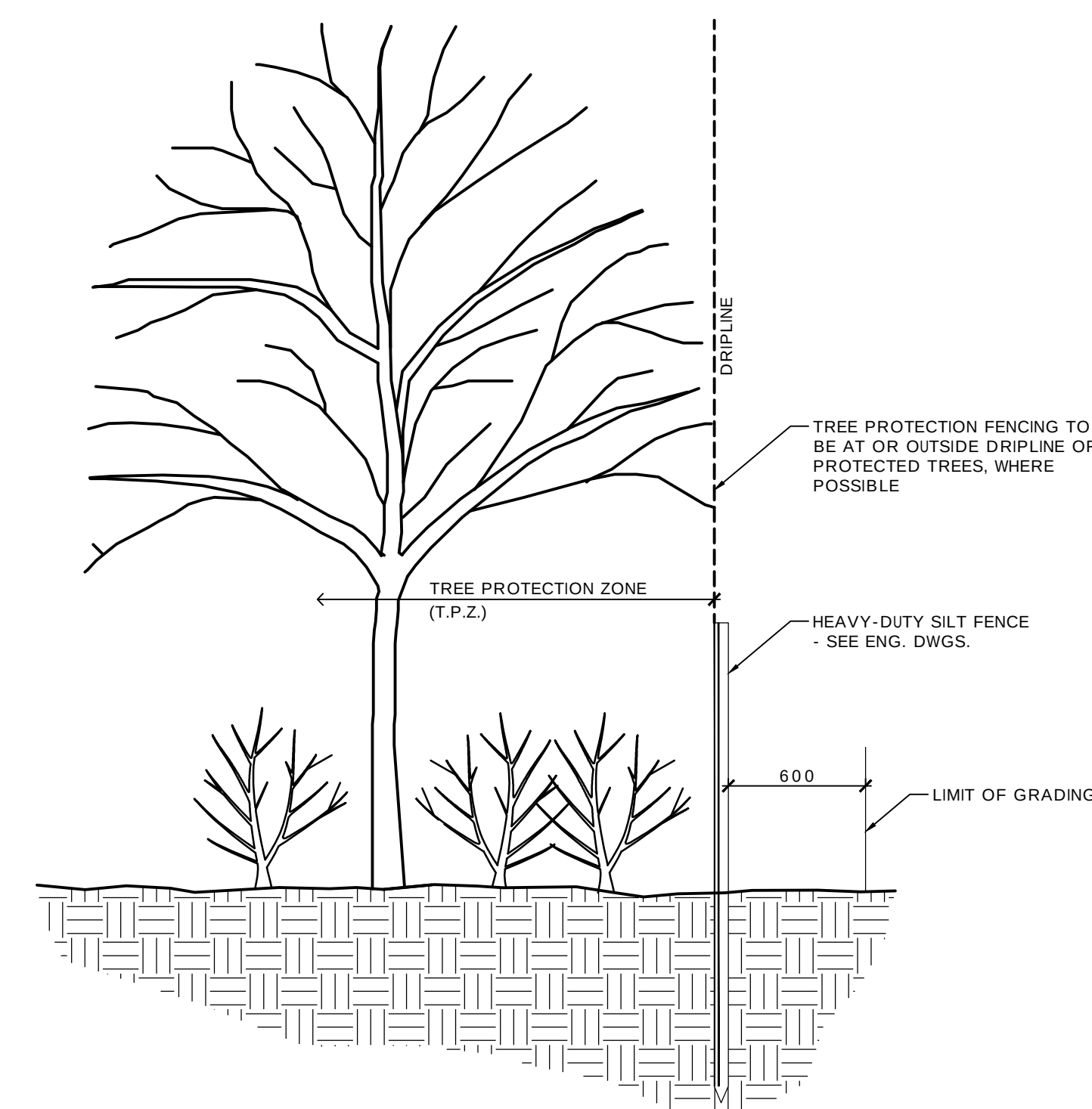
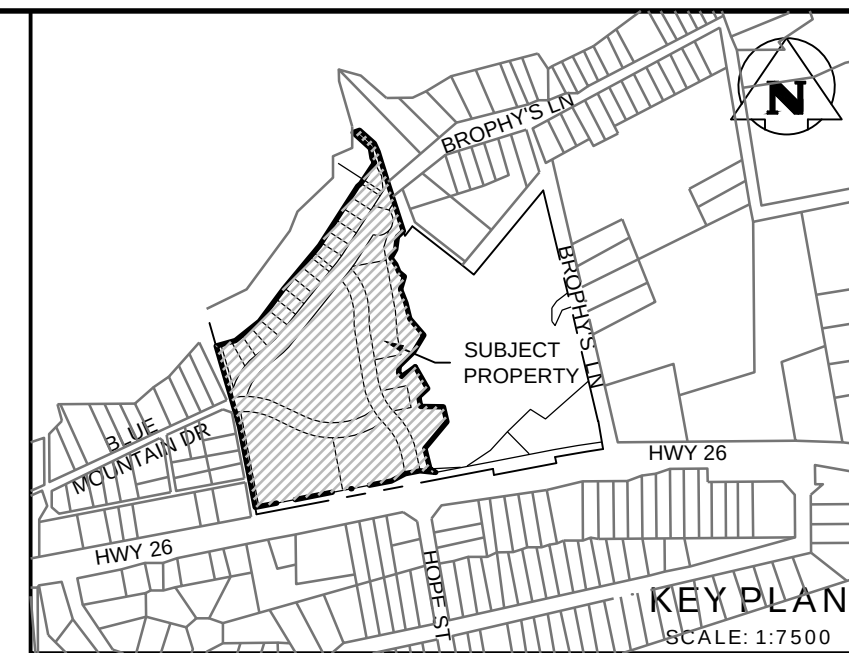
2. FOR SERVICING, GRADING AND DRAINAGE INFORMATION SEE ENGINEERING DRAWINGS.

3. THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING AND PROPOSED GRADES AND CONDITIONS OF THE PROJECT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH ANY REMOVALS.

4. TREE REMOVALS SHALL CONFORM WITH THE MIGRATORY BIRDS CONVENTION ACT AND MUNICIPAL BY-LAWS.

3.0 ENVIRONMENTAL IMPACT STUDY RECOMMENDATIONS

1. TREE MANAGEMENT PLAN SHALL BE READ IN CONJUNCTION WITH THE UPDATED SCOPED ENVIRONMENT IMPACT STATEMENT UPDATE (SEPTEMBER 2019). ALL RECOMMENDATIONS WITHIN THE EIS SHALL BE FOLLOWED.



NOTES:

1.0 TREE PROTECTION

1. INSTALL TREE PROTECTION FENCING IN LOCATIONS INDICATED IN CONTRACT DRAWINGS.
2. WHERE POSSIBLE, TREE PROTECTION FENCING LOCATION TO BE AT OR OUTSIDE THE DRILLPIPE OF PROTECTED TREES, WHICH IS DEFINED AS THE CIRCLE THAT COULD BE DRAWN ON THE SOIL AROUND A TREE DIRECTLY UNDER THE TIPS OF ITS OUTERMOST AND WIDEST BRANCHES.
3. LOCATION OF TREE PROTECTION FENCE SHALL BE CONFIRMED ON-SITE BY THE LANDSCAPE ARCHITECT BEFORE COMMENCEMENT OF TREE CLEARING OPERATIONS.
2. AS PART OF THE TREE REMOVAL OPERATION ALL STEMS, LIMBS AND STUMPS SHOULD BE REMOVED FROM THE SITE.
3. THE ROOT SYSTEMS FROM ALL EXISTING VEGETATION TO BE REMAINED SHALL BE PROTECTED FROM DAMAGE, COMPACTION AND CONTAMINATION RESULTING FROM CONSTRUCTION.
10. NO STORAGE OF MATERIALS OR EQUIPMENT WITHIN THE TREE PROTECTION ZONE IS PERMITTED. NO EQUIPMENT OR MATERIALS SHALL HIT OR DAMAGE TREES DESIGNED TO BE PRESERVED.
11. NO ROOT CUTTING OR MOVEMENT OF VEHICLES IS PERMITTED IN THE TREE PROTECTION ZONE.
12. FENCE BARRIERS MUST REMAIN IN FUNCTIONAL CONDITION UNTIL ALL SITE WORKS INCLUDING LANDSCAPING ARE COMPLETED.
13. THE CONTRACTOR SHALL REMOVE TREE PROTECTION FENCING AFTER THE COMPLETION OF ALL SITE WORKS FOLLOWING WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.

2.0 HAZARD TREE MANAGEMENT

1. SELECTIVE REMOVAL OF HAZARDOUS TREES WITHIN THE TREE PROTECTION ZONE WILL BE DETERMINED ON-SITE BY THE LANDSCAPE ARCHITECT.
2. WHERE REMOVALS ARE REQUIRED, THE FELLING ZONE SHOULD ALLOW THE TREES TO FALL WITHOUT DAMAGE TO EXISTING STRUCTURES, OR TREES (BRANCHES & TRUNKS) TO REMAIN.
3. SHOULD NO CLEAR FELLING ZONE EXIST, THE TREE SHALL BE CUT INCREMENTALLY FROM THE TOP DOWN AND LOWERED TO THE GROUND WITH ROPES.
4. ANY ROOTS THAT BECOME EXPOSED DURING CONSTRUCTION SHALL BE CLEANLY CUT.

NTS

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NOTES:

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.

	Town
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[illegible]

LANDSCAPE ARCHITECT

LANDSCAPE ARCHITECT

	Project
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CRAIGLEITH VILLAGE
TOWN OF THE BLUE MOUNTAINS

Drawing

TREE MANAGEMENT PLAN



Admiral Building
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Collingwood, ON, L9Y 1A1
705-446-3510 T
705-446-3520 F
www.cfcrozier.ca
info@cfcrozier.ca

Drawn By A.M.		Design By A.M.		Project 876-4866	
Scale AS SHOWN	Date 2021.10.26	Check By K.W.		Drawing TMP-1	