

TYROLEAN PROPERTY LTD.

TYROLEAN ARLBERG TRIPLEXES

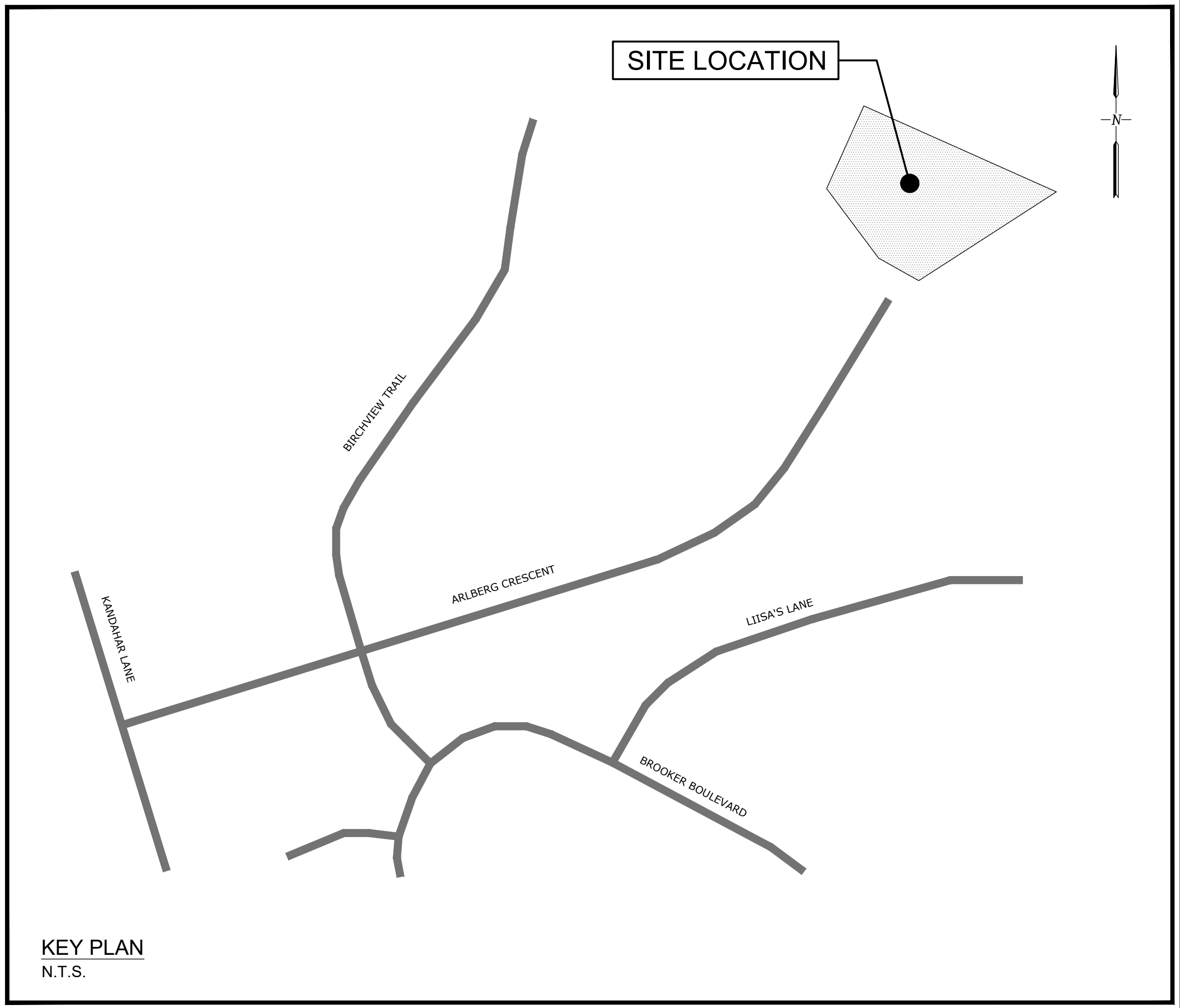
DRAWING INDEX

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The Consultant shall provide a Communications Plan to notify the Town and Area Residents of significant Construction activities to the satisfaction of the Town.

At a minimum the Plan should provide:

- Installation of a Project Notification Sign, 1.2 m x 2.4 m minimum, to Town template, at each construction access to the Lands and visually obvious to the public, at least two (2) weeks before the construction start date, and maintained for full duration of construction.
- Notification of the construction project to property owners as deemed appropriate in consultation with Development Engineering via hand/mail delivery.
- Schedules of intended site activities updated routinely. (typically, weekly to bi-weekly).
- A minimum of two (2) weeks' notice following Town approval and prior to commencement of:
 - o Significant site activities such as site alteration works e.g. tree clearing & grubbing, commencement of site servicing/grading, placement of asphalt, concrete curbs and sidewalk, and landscaping.
 - o Off-site works on Town Owned Lands/Roads following receipt of a Municipal Land Use Permit (MLUP).



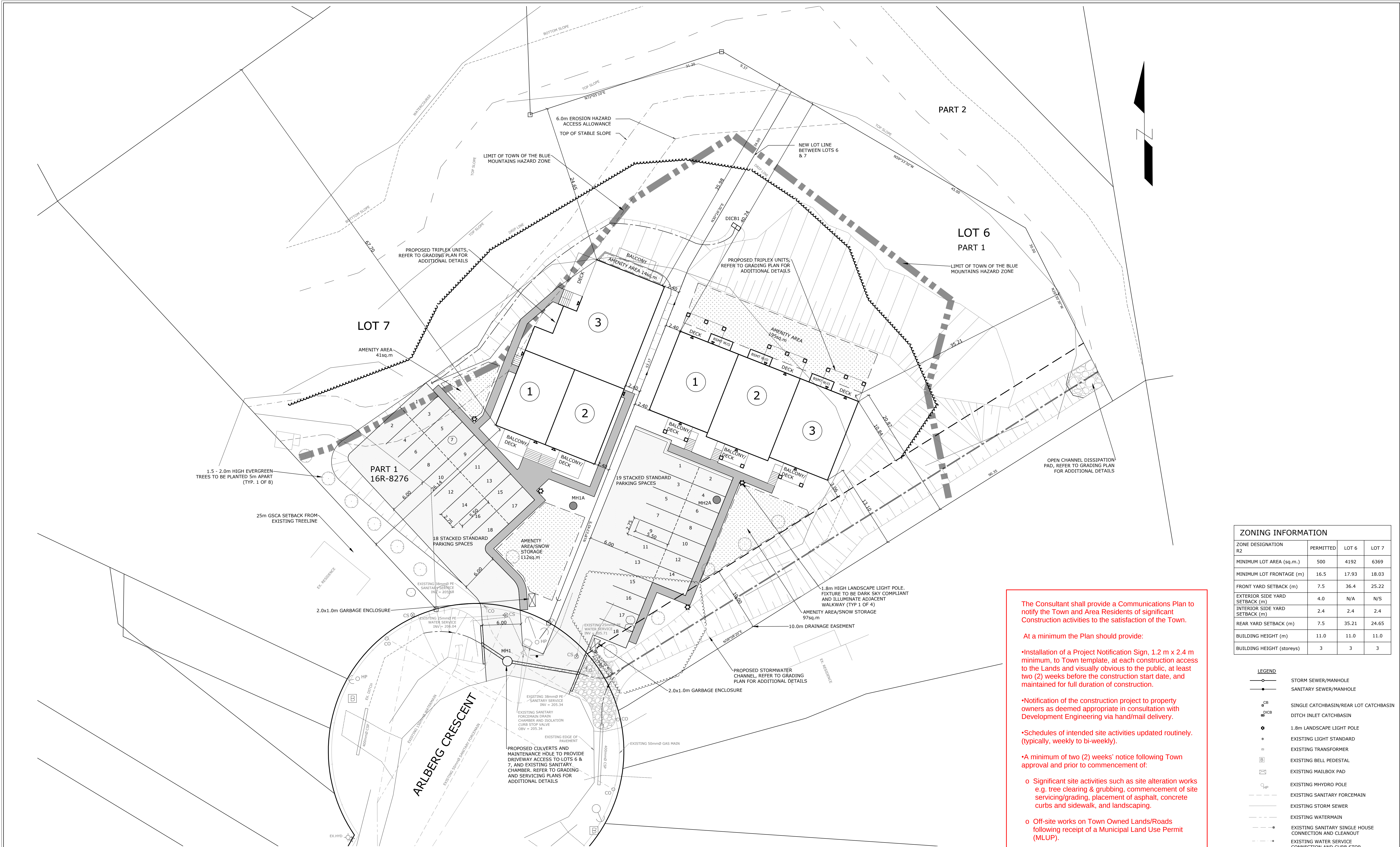
TYROLEAN PROPERTY LTD.
796445 GREY ROAD 1, UNIT 1
BLUE MOUNTAINS, ON
L9Y 0N8

Project No. 2018-018

REVISED FOR APPROVALS - AUGUST 28, 2020

CAPE
ENGINEERING





ZONING INFORMATION			
ZONE DESIGNATION	PERMITTED	LOT 6	LOT 7
R2			
MINIMUM LOT AREA (sq.m.)	500	4192	6369
MINIMUM LOT FRONTAGE (m)	16.5	17.93	18.03
FRONT YARD SETBACK (m)	7.5	36.4	25.22
EXTERIOR SIDE YARD SETBACK (m)	4.0	N/A	N/S
INTERIOR SIDE YARD SETBACK (m)	2.4	2.4	2.4
REAR YARD SETBACK (m)	7.5	35.21	24.65
BUILDING HEIGHT (m)	11.0	11.0	11.0
BUILDING HEIGHT (storeys)	3	3	3

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LEGEND	
	STORM SEWER/MANHOLE
	SANITARY SEWER/MANHOLE
	SINGLE CATCHBASIN/REAR LOT CATCHBASIN
	DITCH INLET CATCHBASIN
	1.8m LANDSCAPE LIGHT POLE
	EXISTING LIGHT STANDARD
	EXISTING TRANSFORMER
	EXISTING BELL PEDESTAL
	EXISTING MAILBOX PAD
	EXISTING MYHYDRO POLE
	EXISTING SANITARY FORCEMAIN
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	EXISTING SANITARY SINGLE HOUSE CONNECTION AND CLEANOUT
	EXISTING WATER SERVICE CONNECTION AND CURB STOP

- Notes
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No	Issue / Revision	Date	Auth
1	FUNCTIONAL SERVICING REPORT	18/11/02	CC
2	ISSUED FOR APPROVALS	19/08/19	CC
3	REVISED FOR APPROVALS	20/04/14	CC
4	REVISED FOR APPROVALS	20/08/28	CC

BENCHMARK 1 ELEV = 213.253m
NAIL & WASHER IN SOUTH FACE OF HYDRO POLE AT NORTHWEST CORNER OF ARLBERG CRESCENT AND BIRCHVIEW TRAIL

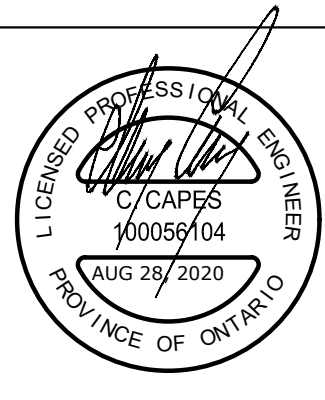
BENCHMARK 2 ELEV = 211.832m
NAIL & WASHER IN HYDRO POLE ON NORTH SIDE OF ARLBERG CRESCENT IN FRONT OF HOUSE NO. 197-199

BENCHMARK 3 ELEV = 209.215m
TOP SIDE OF OPERATING NUT OF HYDRANT NO. 230 ON SITE SIDE OF ARLBERG CRESCENT IN FRONT OF HOUSE NO. 217-215

Town of Blue Mountains
Planning and Development Services
Accepted For Construction

AFC Drawings are only valid as part and upon execution of a Development Agreement

signature: *Brian W. Jones* date: *August 21*



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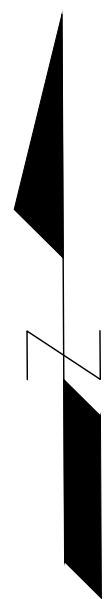


355310 BLUE MOUNTAINS - EUPHRASIA TOWNLIN
CLARKSBURG, ON N0M 1J0
TEL: 705-994-4818

TYROLEAN ARLBERG TRIPLEXES
GENERAL SITE PLAN

Designed PCC	Checked KAG	Checked KAG	Date 18/06/28
Project No. 2018-018	Rev No. 4		
Scale 1:250			

Drawing No.
C1



	PROPOSED ELEVATION
	EXISTING ELEVATION
	PROPOSED SWALE
	PROPOSED OVERLAND FLOW DIRECTION
	MAXIMUM 3:1 SLOPE UNLESS OTHERWISE NOTED

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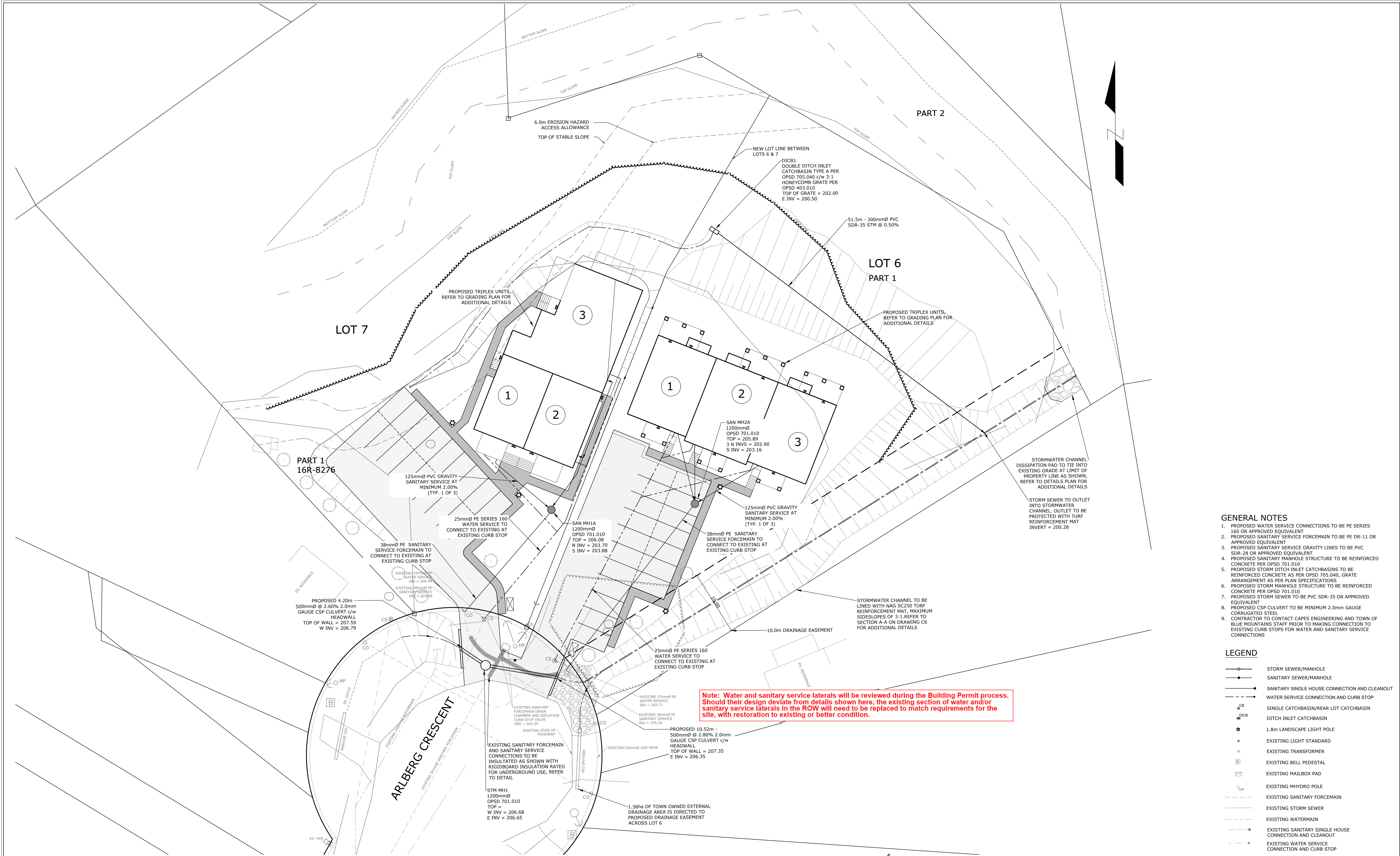
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ENGINEERING

355310 BLUE MOUNTAINS - EUPHRASIA TOWNLIN
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TYROLEAN ARLBERG TRIPLEXES GRADING PLAN				Drawing No. C2
Designed PCC	Checked KAG	PCC	Date 18/06/28	
Project No. 2018-018			Rev No. 4	
Scale 1:250				



- GENERAL NOTES**
1. PROPOSED WATER SERVICE CONNECTIONS TO BE PE SERIES 160 OR APPROVED EQUIVALENT
 2. PROPOSED SANITARY SERVICE FORCEMAIN TO BE PE DR-11 OR APPROVED EQUIVALENT
 3. PROPOSED SANITARY SERVICE GRAVITY LINES TO BE PVC SDR-28 OR APPROVED EQUIVALENT
 4. PROPOSED SANITARY MANHOLE STRUCTURE TO BE REINFORCED CONCRETE PER OPSD 701.010
 5. PROPOSED STORM DITCH INLET CATCHBASINS TO BE REINFORCED CONCRETE AS PER OPSD 705.040, GRATE ARRANGEMENT AS PER PLAN SPECIFICATIONS
 6. PROPOSED STORM MANHOLE STRUCTURE TO BE REINFORCED CONCRETE PER OPSD 701.010
 7. PROPOSED STORM SEWER TO BE PVC SDR-35 OR APPROVED EQUIVALENT
 8. PROPOSED CSP CULVERT TO BE MINIMUM 2.0mm GAUGE CORRUGATED STEEL
 9. CONTRACTOR TO CONTACT CAPES ENGINEERING AND TOWN OF BLUE MOUNTAINS STAFF PRIOR TO MAKING CONNECTION TO EXISTING CURB STOPS FOR WATER AND SANITARY SERVICE CONNECTIONS

- LEGEND**
- STORM SEWER/MANHOLE
 - SANITARY SEWER/MANHOLE
 - SANITARY SINGLE HOUSE CONNECTION AND CLEANOUT
 - WATER SERVICE CONNECTION AND CURB STOP
 - CB SINGLE CATCHBASIN/REAR LOT CATCHBASIN
 - DICB DITCH INLET CATCHBASIN
 - ★ 1.8m LANDSCAPE LIGHT POLE
 - ★ EXISTING LIGHT STANDARD
 - ★ EXISTING TRANSFORMER
 - EXISTING BELL PEDESTAL
 - EXISTING MAILBOX PAD
 - HP EXISTING HYDRO POLE
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Signature *August 21*

U. GORDON
PROFESSIONAL ENGINEER
AUG 29/2020
C/CAPES
160059/04
PROVINCE OF ONTARIO

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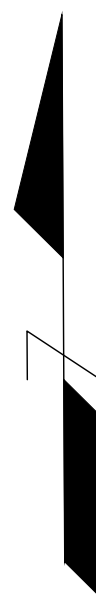
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TYROLEAN ARLBERG TRIPLEXES
SERVICING PLAN

Designed	Checked	Date	Drawing No.
PCC	KAG	18/06/28	C3

Project No. 2018-018
Rev No. 4

Scale: 1:250
0 5.0 10.0 15.0m



1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT MIGRATION OF SILT AND SEDIMENT FROM THE SUBJECT LOT TO ANY ADJACENT LOT, INCLUDING NATURAL AND URBAN AREAS AND WATERWAYS. A SPECIAL CARE SHEET SHALL BE TAKEN TO ENSURE THAT SILT AND SEDIMENT LEAVING SURFACE WATER DOES NOT ENTER ANY WATERWAY OR OVERLAND FLOWAGE. SEDIMENT SHALL BE REMOVED, EITHER OVERLAND OR THROUGH THE STORM DRAINAGE SYSTEM. THE OWNER/BUILDER/APPLICANT SHALL COMPLY WITH ALL DIRECTIVES ISSUED BY ANY OF THE ENVIRONMENTAL AGENCIES RELATIVE TO EROSION AND SEDIMENT CONTROL PLAN FOR ADDITIONAL DETAILS.
2. EROSION AND SEDIMENT CONTROL MITIGATION MEASURES ARE TO BE INSTALLED PRIOR TO ANY WORK OR FOLLOWING ALL SIGNIFICANT PRECIPITATION EVENTS AND REPAIRED AS REQUIRED BY THE CONTRACTOR.
3. STRAW BALES ARE TO BE STOCKPILED ON SITE TO MITIGATE ANY SITE SPECIFIC DRAINAGE CONCERNS.
4. ANY AND ALL EROSION CONCERNS IDENTIFIED ON SITE BY THE CONTRACTOR ARE TO BE COMMUNICATED TO CASCAS ENGINEERING FOR DESIGN OF FURTHER MITIGATION MEASURES.
5. ARLBURG CREEK IS TO BE KEPT CLEAR OF OBSTACLES AT ALL TIMES, AND BE SWEEP WEEKLY BY CONTRACTOR.
6. A SINGLE CONSTRUCTION ENTRANCE IS TO BE UTILIZED FOR BOTH LOT 1 AND LOT 2.
7. DURING CONSTRUCTION OF DRIVEWAYS AND PARKING AREAS, A WATER TRUCK OR OTHER DUST SUPPRESSANT IS TO BE PRESENT ON SITE IF WORK IS COMPLETED IN DRY SUMMER MONTHS.
8. DISTURBED AREAS ARE TO BE REVEGETATED WITHIN 30 DAYS WITH MINIMUM 15% TOPSOIL AND NURSERY SOO.
9. STOCKPILES OF DELETERIOUS MATERIAL, BASEMENT SPOILS OR TOPSOIL ARE TO HAVE PERMANENTLY IDENTIFIED PLACES AROUND THEM UTILIZED SUCH THAT AS THE STOCKPILES CAN BE REMOVED OR UTILIZED ON SITE.
10. CONSTRUCTION EQUIPMENT AND MATERIALS TO REMAIN ENTIRELY WITHIN THE LOT. SIGNAGE FOR DURATION OF CONSTRUCTION, AND TEMPORARY CONSTRUCTION FENCING MAY NEED TO BE INSTALLED BY CONTRACTOR TO PREVENT TRESPASSING AND DANGER TO THE PUBLIC.
11. ACCESS TO EXISTING PRIVATE PROPERTY ON ARLBERG CRESCENT TO REMAIN AT ALL TIMES

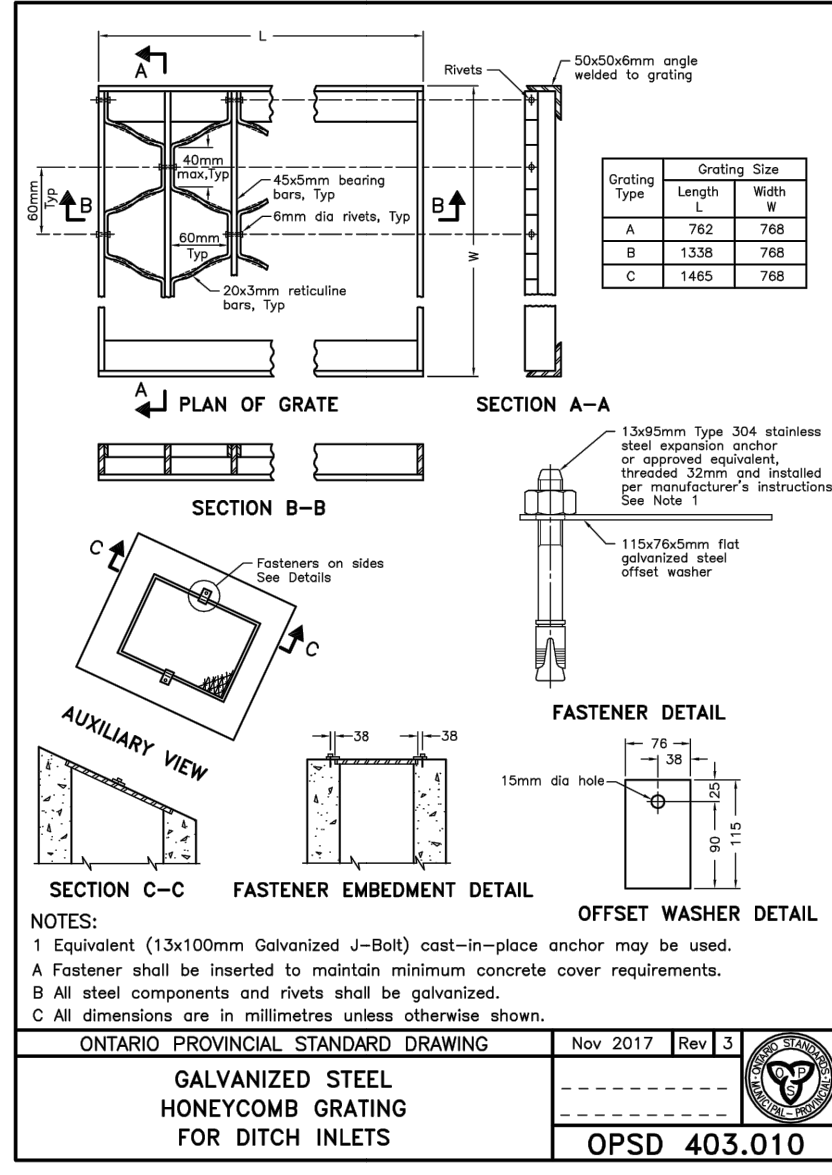
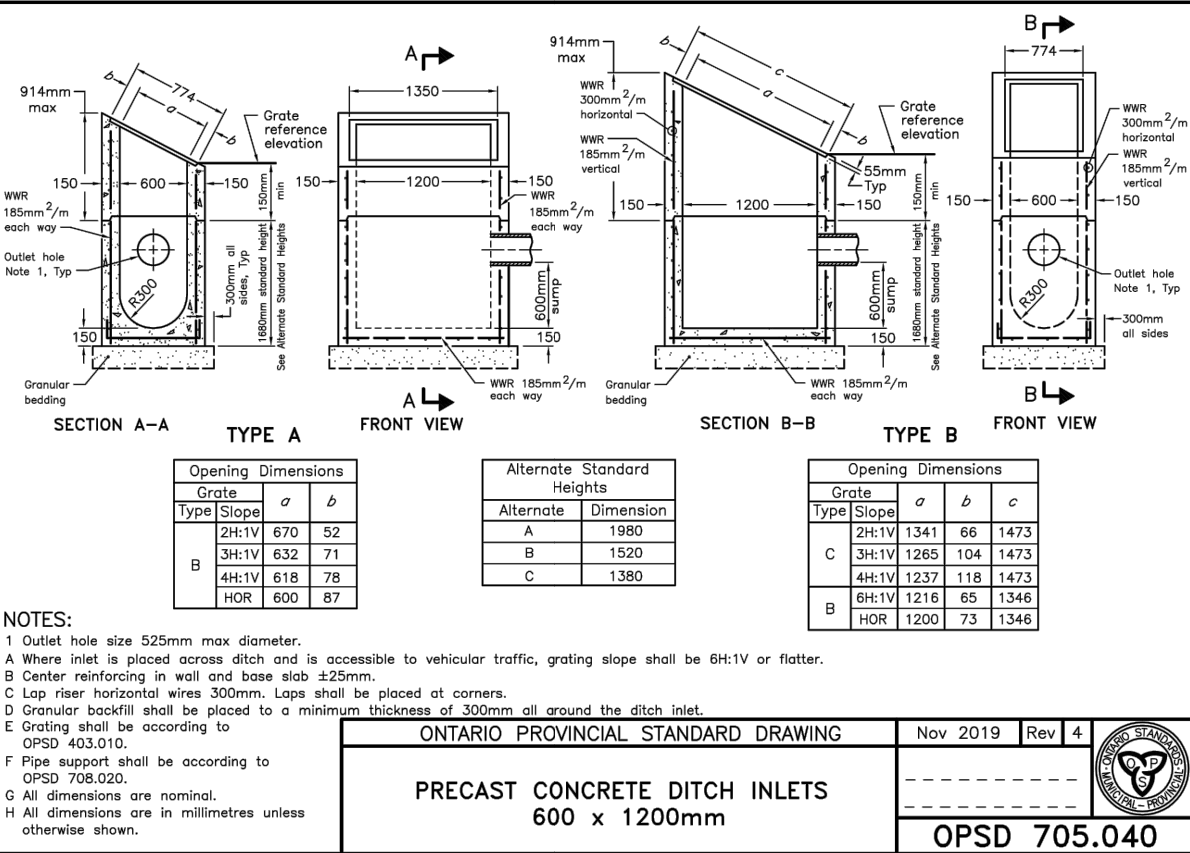
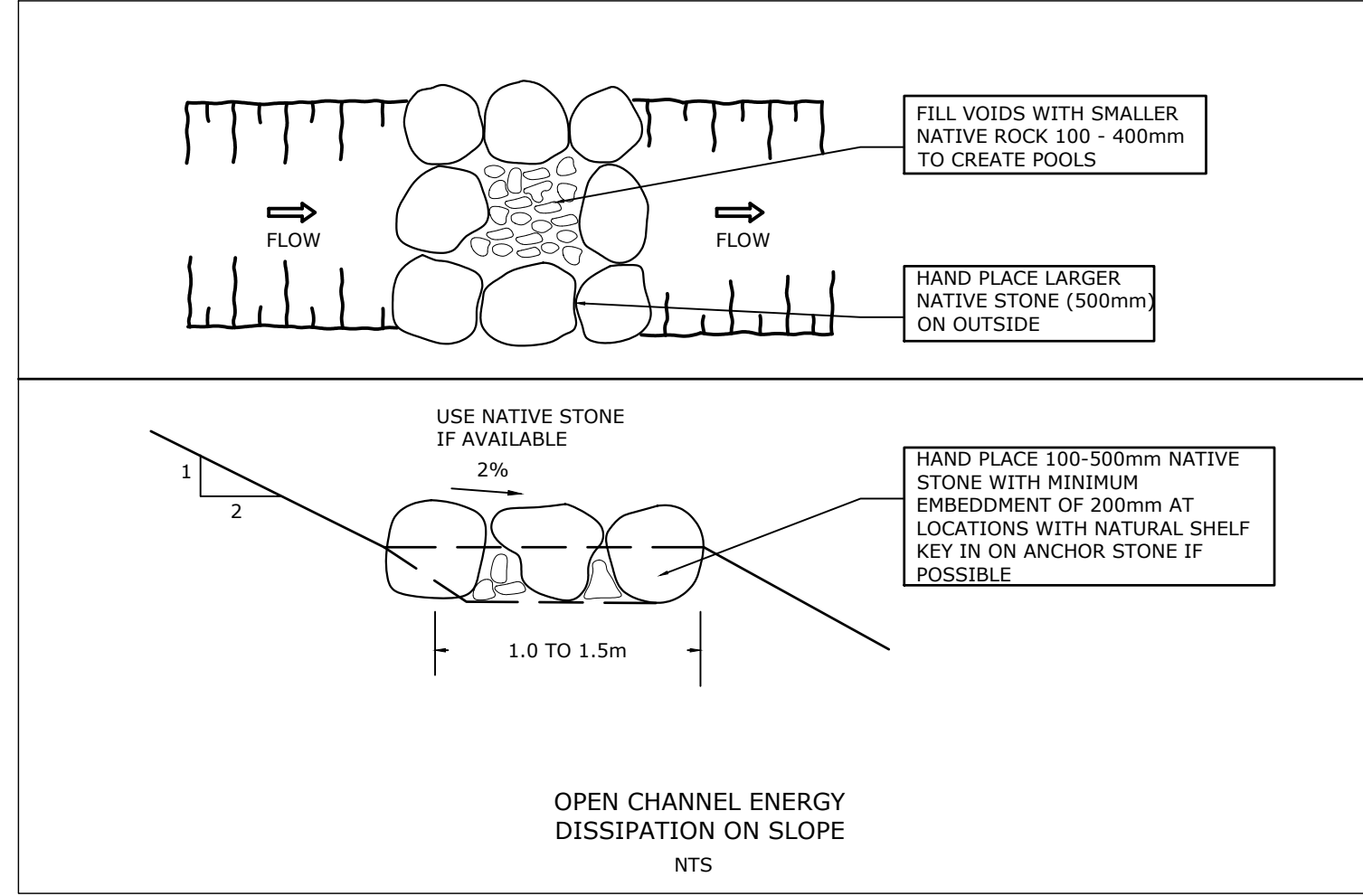
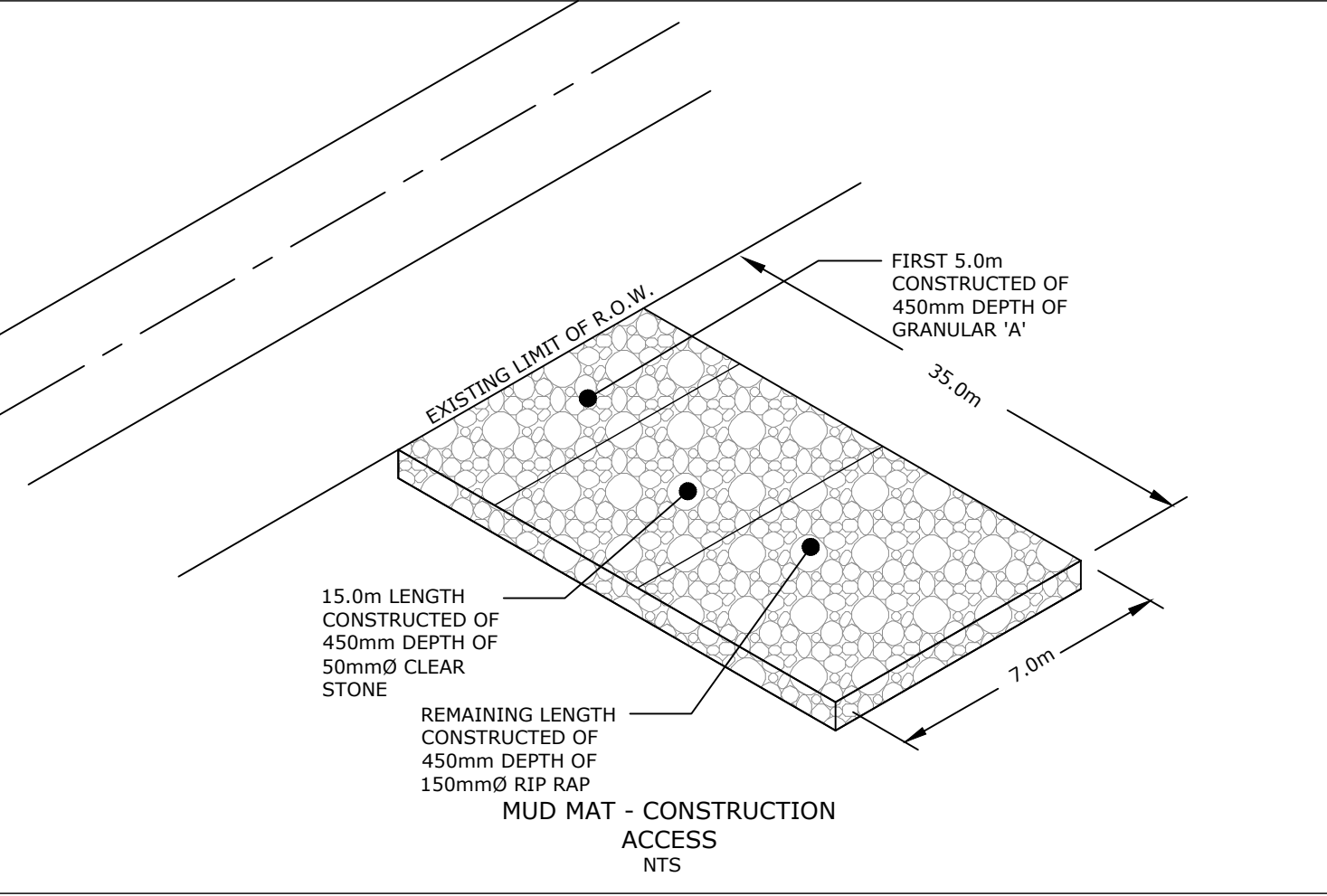
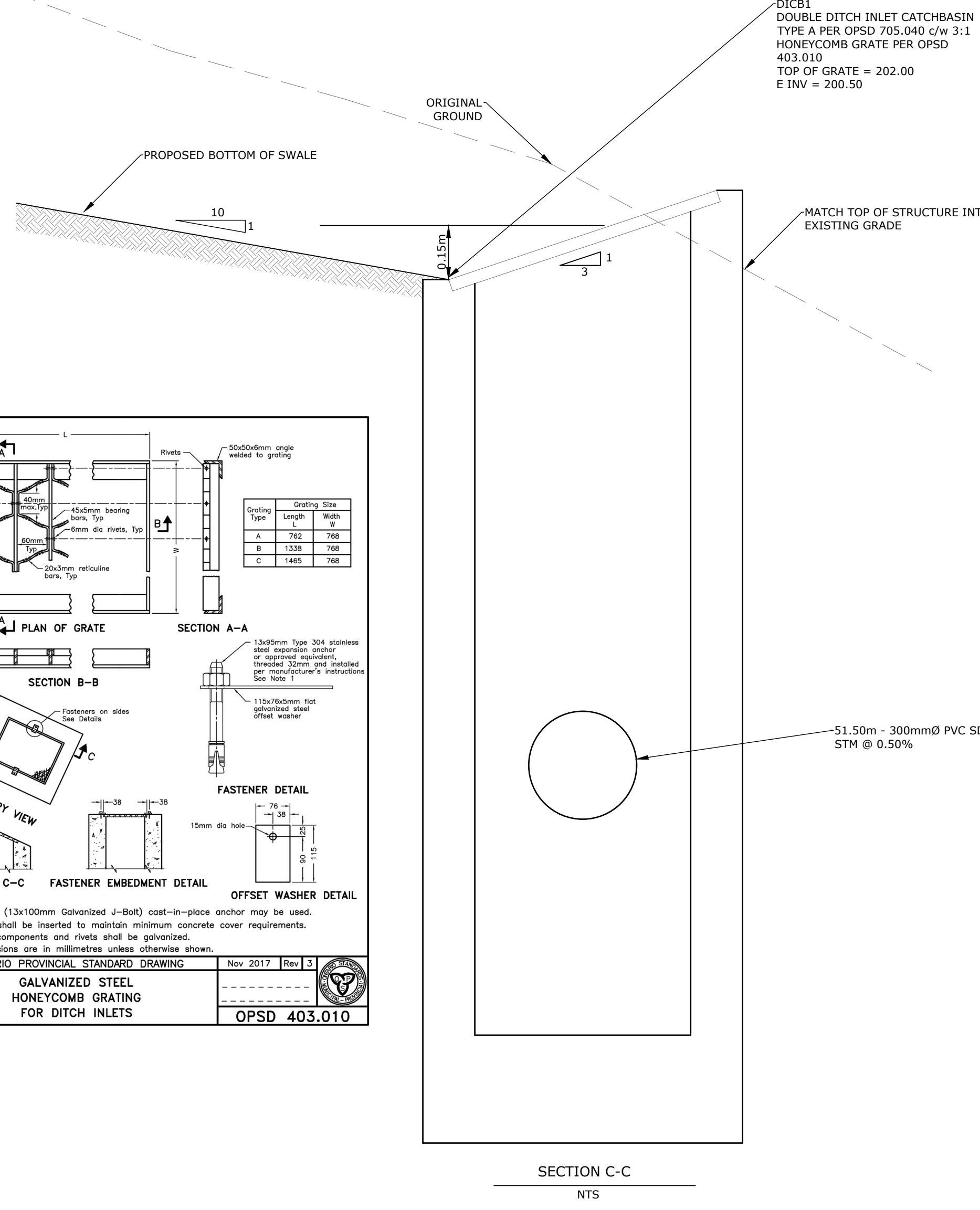
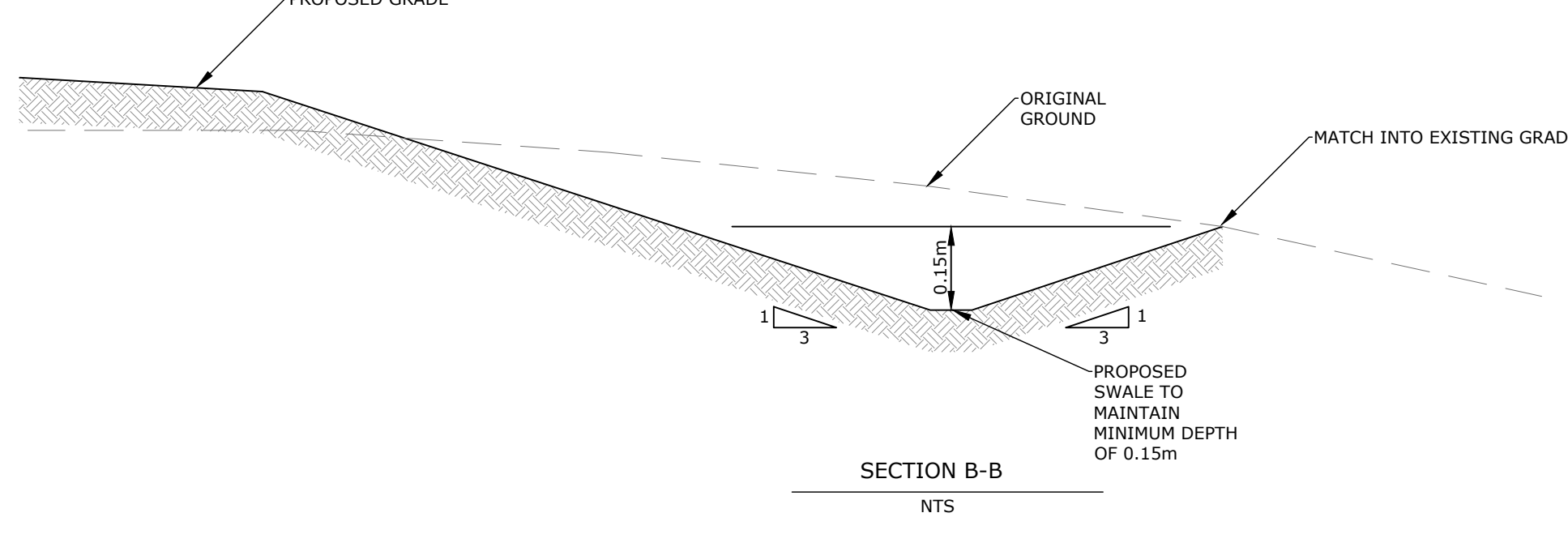
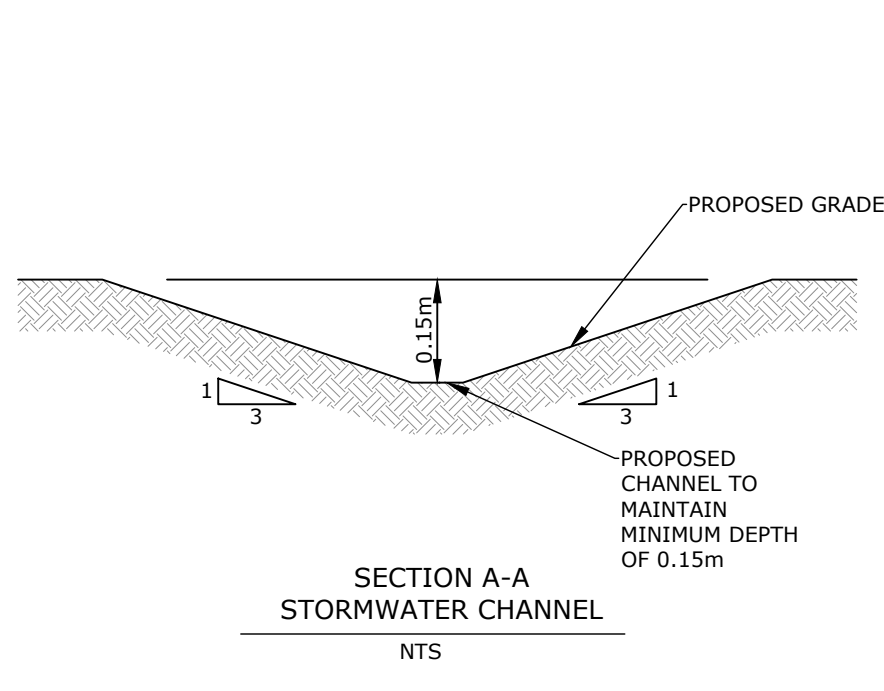
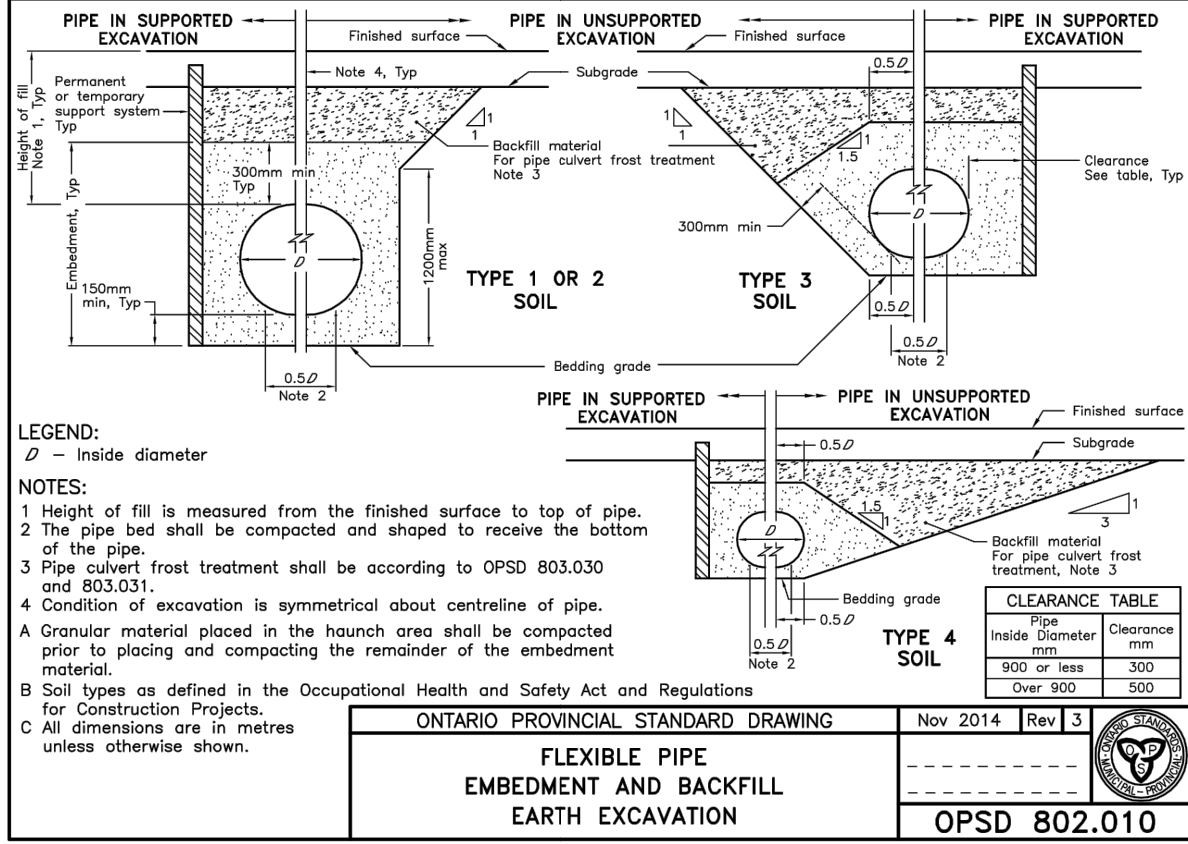
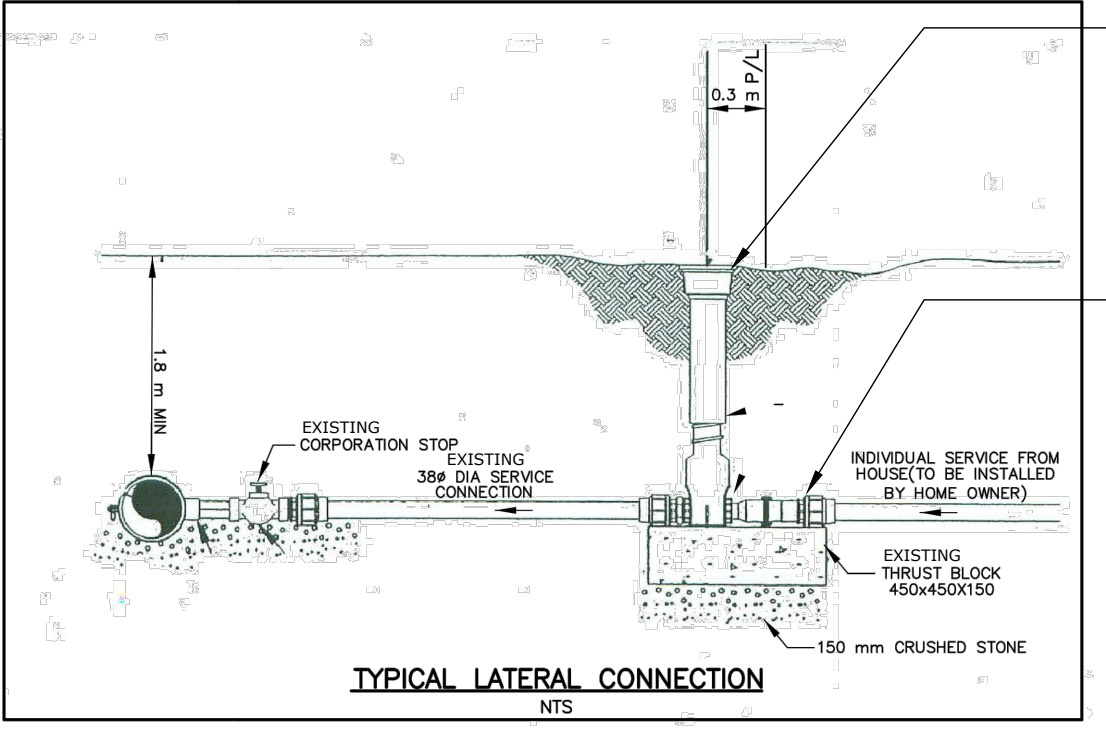
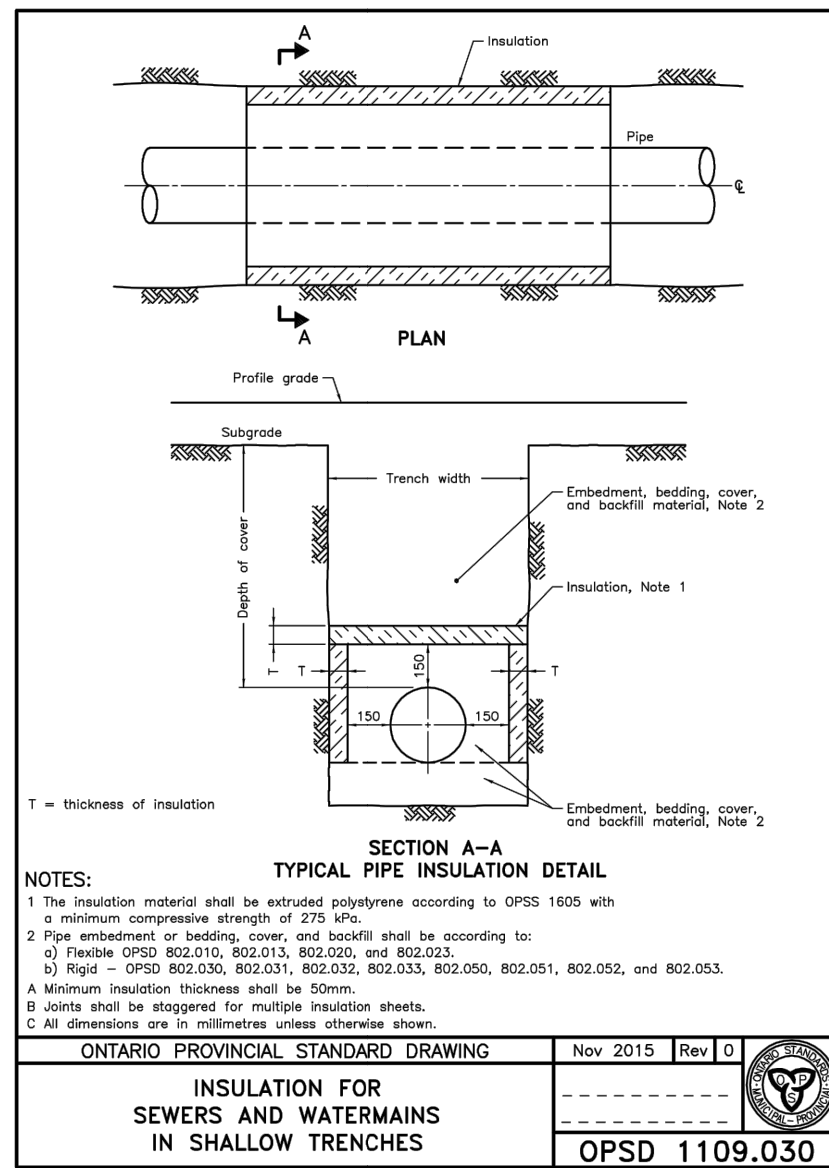
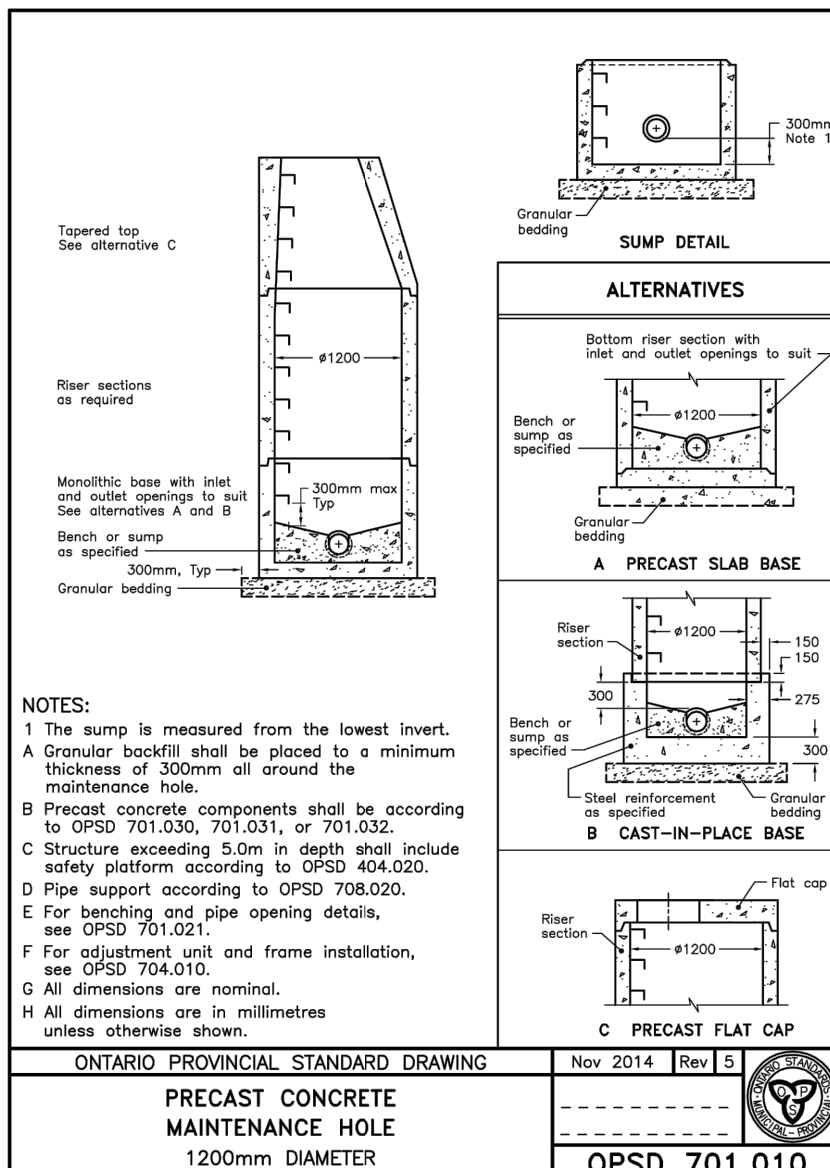
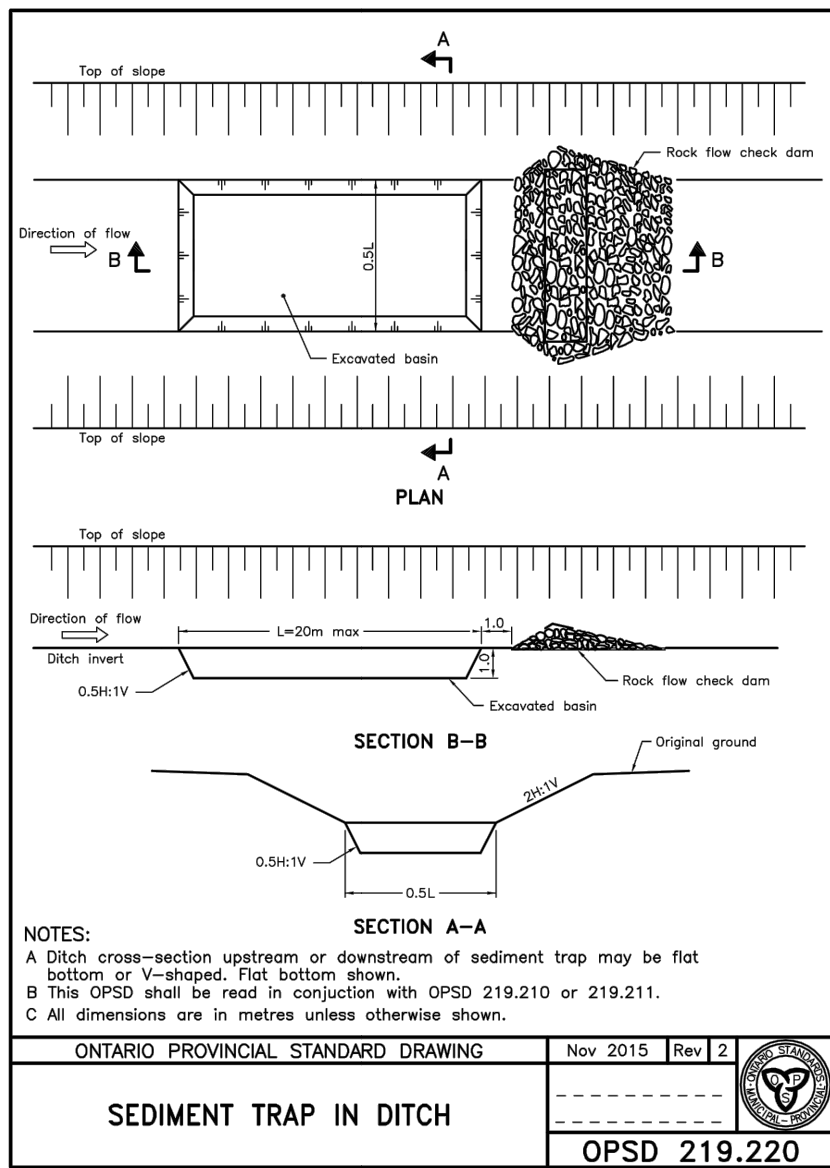
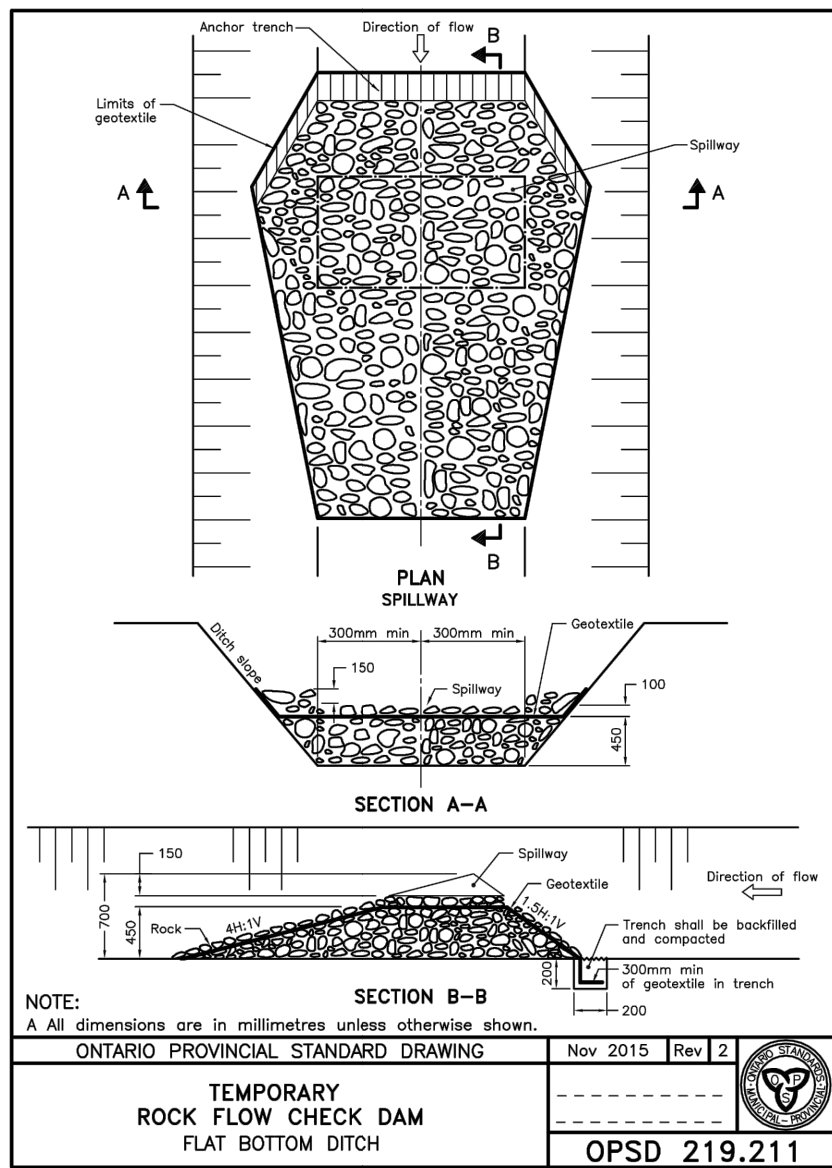
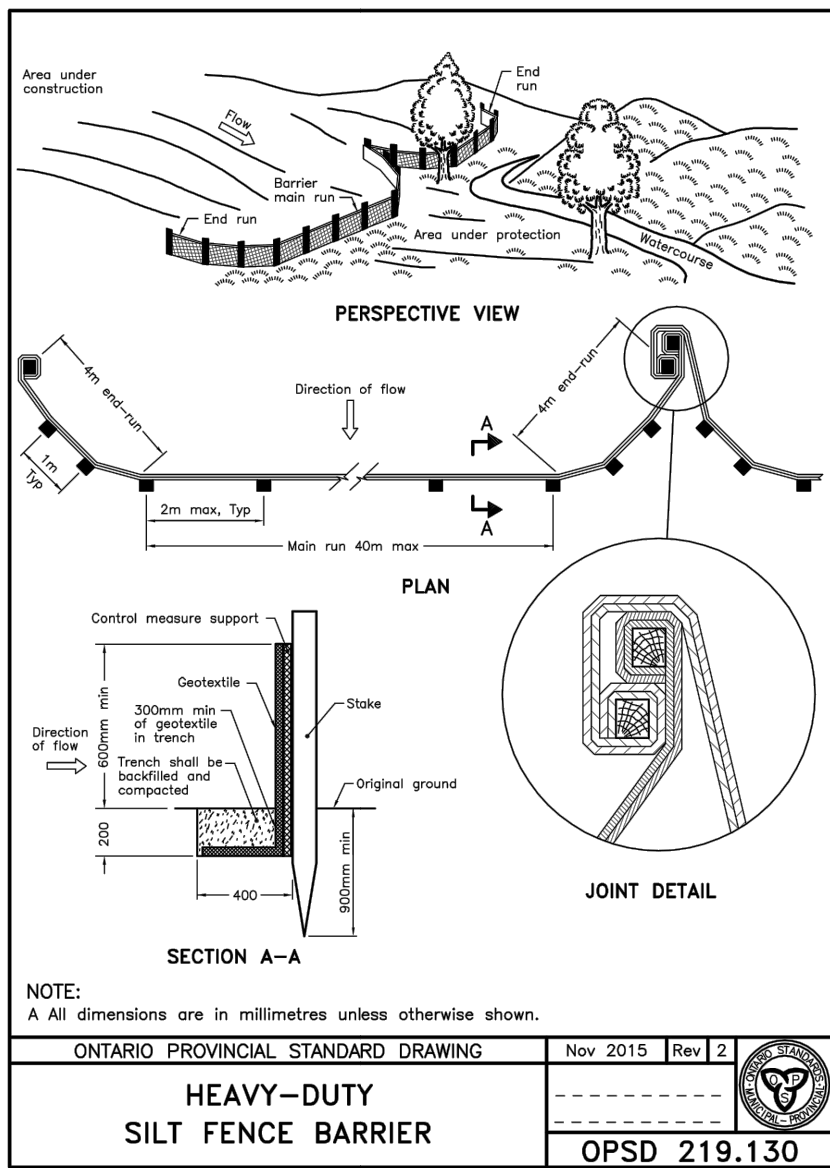
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C4



Notes

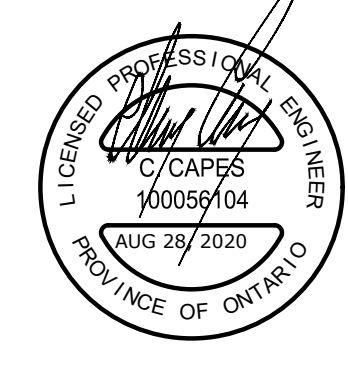
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