



# Staff Report

## Planning and Development Services – Planning Division

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**Report To:** Director of Planning & Development Services  
**Meeting Date:** January 25, 2023  
**Report Number:** PDS.23.013  
**Subject:** Recommendation Report – Georgian Bay Clubhouse Expansion  
Conditional Site Plan Approval  
**Prepared by:** Michael Benner, Senior Planner

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### A. Recommendations

THAT Council receive Staff Report PDS.23.013, entitled "Recommendation Report – Georgian Bay Clubhouse Expansion – Conditional Site Plan Approval";

AND THAT the Director of Planning & Development Services grant Site Plan Approval for the lands known as 516689 7<sup>th</sup> Line, subject to the following conditions;

1. That the owner enters into a Site Plan Agreement within 90 days of this site plan approval, dealing with the general site development and the following additional matters:
  - a. That the applicant shall obtain all necessary permits for the clubhouse addition from the appropriate approval authorities including, but not necessarily limited to Building Permits;
  - b. That the applicant shall provide a security in the amount of \$10,000.00, in a form satisfactory to the Town, to ensure the obligations of the applicant are carried out as required by the terms of the agreement;
2. That the Owner shall enter into development agreements or other necessary agreements or obtain necessary approvals, satisfactory to the Town, or any other appropriate authority, before any development or site alteration can proceed within the development area including filling, grading, removing trees and/or topsoil, installing any works, or constructing any buildings or structures.
3. That this conditional approval is valid for a period of 90 days, after which, should the conditions not be met, the approval shall expire on April 24, 2023.

## **B. Overview**

The purpose of this report is to provide a recommendation for Site Plan Approval on the proposed addition to the Georgian Bay Club's Clubhouse on lands known as 516689 7th Line.

## **C. Executive Summary**

**Application File #:** P3048

**Application Received Date:** July 30, 2021

**Application Deemed Complete Date:** September 9, 2021

**Official Plan Designation:** Recreational Commercial Area

**Zoning Bylaw Category:** Recreation (REC-2)

**STA Permissions:** No

**Location:** Camperdown

The Town has received a Site Plan Approval Application for an addition to the Georgian Bay Club's Clubhouse located at 516689 7th Line. The Georgian Bay Club is an 18-hole golf course with accessory driving range, clubhouse and maintenance facility. The Town has received a proposal to construct an approximate 930 square metre (10,000 sq ft) addition to the existing clubhouse building to service members of the club including locker rooms, fitness, pool and other amenities. It is noted that the clubhouse expansion is to service the Golf Course membership only and is not open to the general public.

The received application includes the following drawings and studies:

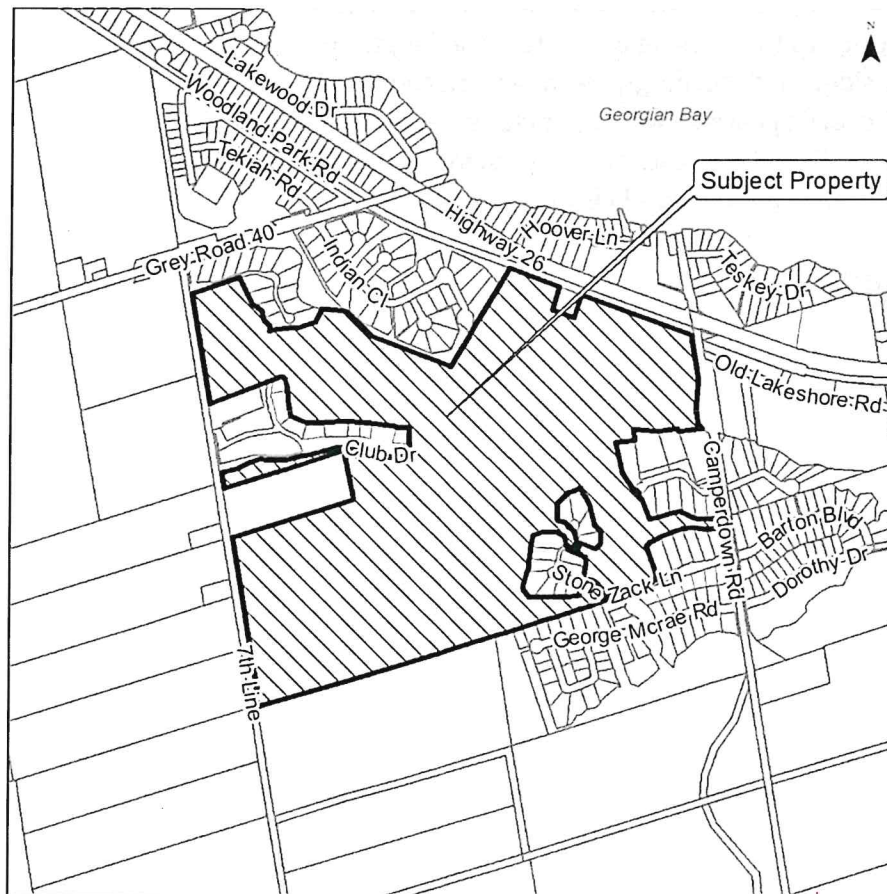
- Architectural Plans prepared by Mataj Architects dated July 7 2021
- Lot Grading Plan prepared by Tatham Consulting Engineering dated July 2021
- Environmental Impact Study prepared by Cambium dated July 23, 2021
- Geotechnical Investigation completed by JLP Geotechnical dated September 7, 2022
- Site Drainage and Servicing Brief completed by Tatham Consulting Engineering dated July 26, 2021

## D. Background

The subject lands, municipally known as 516689 7th Line, are an approximately 114.7 hectare golf course dating back to the early 2000s.

A pre-consultation was conducted on the proposed clubhouse addition in September of 2021 with comments received from various Town Departments, the County of Grey and the Grey Sauble Conservation Authority. Following the acceptance of the complete application the project was further reviewed by internal departments and the Grey Sauble Conservation Authority. The Conservation Authority, in correspondence dated June 27, 2022, has noted that permits from the Authority will not be required. Additionally, the submitted architectural, engineering and landscaping drawings were “Accepted for Construction” on January 25, 2023.

### Location Key Map



## E. Analysis

### Ontario Planning Act

The Ontario Planning Act requires that municipal council is specifically authorized to regulate certain items related to building and site development enumerated under subs. 41(4) and (7). Section 41 speaks to the establishment of a site plan control area(s) within the Official Plan

implemented by the council of the local municipality. Section 41(4) of the Planning Act speaks to what control can be exercised over the site plan control area(s). When reviewing the clubhouse addition site plan control will be exercised over the conceptual design of the addition, relationship to adjacent buildings, provision of interior walkways, stairs, and escalators to which members of the public have access to from streets and open spaces, the design features of a building, facilities designed for accessibility for persons with disabilities. Section 41(7) speaks to the conditions of approval of plans. Conditions of approval of the clubhouse addition are included in Section A of this report.

Under the recently passed Bill 109, The Planning Act has been further amended to introduce new approval timelines for specific applications made under the Act. Subsection 41(12) now stipulates an approval period of 60 days from the receipt of the application drawings to final approval. Failure to make a decision in that timeline opens the municipality up to an escalating refund of application fees to the applicant depending on the length of time taken beyond 60 days to make the approval. Although the subject application is not specifically impacted by this change, as it was submitted prior to the passing of Bill 109, the length of time for site plan approval still needs to be considered. Accordingly, technical matters such as the need for “Accepted For Construction” drawings are now being included as a condition of site plan approval so as to not unnecessarily hold up the initial site plan approval timing. This approach is similar to draft plan conditions for a plan of subdivision.

### The Provincial Policy Statement

The Provincial Policy Statement provides direction on appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural environment.

Matters of provincial interest were considered and Planning Staff are satisfied that the proposed clubhouse addition is consistent with the intent and direction of the Provincial Policy Statement.

### The County of Grey Official Plan, 2018

The County of Grey Official Plan, 2018, identifies the subject lands as being located within the Recreational Resort Area designation. This designation applies to settlement areas which have developed as a result of site-specific amendments to the County and local Official Plan. This designation consists of a defined development area, specific recreational amenities, and residential development serviced with full municipal services.

Planning Staff are satisfied that the proposed development is consistent with the direction of the County of Grey Official Plan.

### Town of The Blue Mountains Official Plan

The Town of The Blue Mountains Official Plan designates the subject lands as “Recreational Commercial Area”. Permitted uses in this designation include, among other uses, commercial

and private recreational club facilities. It is the intent of the Plan that all development shall be located without disrupting the natural environment by removal of excessive amounts of vegetation. Additional tree planting shall be encouraged, where appropriate. Adequate buffering shall be provided to ensure the visual protection and amenity of the area. Where residential uses are located nearby, increased setbacks and limitations on the size of buildings may be established under the implementing Zoning Bylaw.

Planning Staff are satisfied that the proposed development is consistent with the direction of the Town's Official Plan.

### The Blue Mountains Zoning By-law 2018-65

The subject lands are zoned Recreation (REC-2) by the Blue Mountains Zoning By-law 2018-65, as amended. The uses permitted in the REC-2 zone include private clubs. Additionally, the clubhouse addition complies with the zoning standards (yard setbacks height etc.) of the REC 2 zone.

### Analysis Results

The proposed development complies with and is supported by the provisions of the Provincial Policy Statement, the County of Grey Official Plan, The Town of The Blue Mountains Official Plan and the Municipal Zoning By-law. Planning staff, therefore, do not have any concerns recommending that conditional Site Plan approval be granted and a Site Plan Agreement be entered into between the Georgian Bay Club and the Town.

## **F. Strategic Priorities**

### **3. Community**

We will protect and enhance the community feel and the character of the Town, while ensuring the responsible use of resources and restoration of nature.

### **4. Quality of Life**

We will foster a high quality of life for full-time and part-time residents of all ages and stages, while welcoming visitors.

## **G. Environmental Impacts**

No environmental impacts are anticipated as a result of this application.

## **H. Financial Impact**

No financial impacts are anticipated as a result of this application.



**I. In consultation with**

Deanna Vickory, Development Engineering Supervisor

**J. Public Engagement**

The topic of this Staff Report has not been subject to a Public Meeting and/or a Public Information Centre as neither a Public Meeting nor a Public Information Centre are required. Comments regarding this report should be submitted to Michael Benner, [planning@thebluemountains.ca](mailto:planning@thebluemountains.ca)

**K. Attached**

1. Applicants Site Plan

Respectfully submitted,

  
Michael Benner, MCIP RPP  
Senior Planner

Reviewed by,

  
Shawn Postma, RPP  
Manager of Community Planning

In accordance with Delegated Authority By-law 2012-76, as amended, I hereby grant conditional site plan approval pursuant to Section 41 of the Planning Act, subject to the conditions outlined in Staff Report PDS.22.00

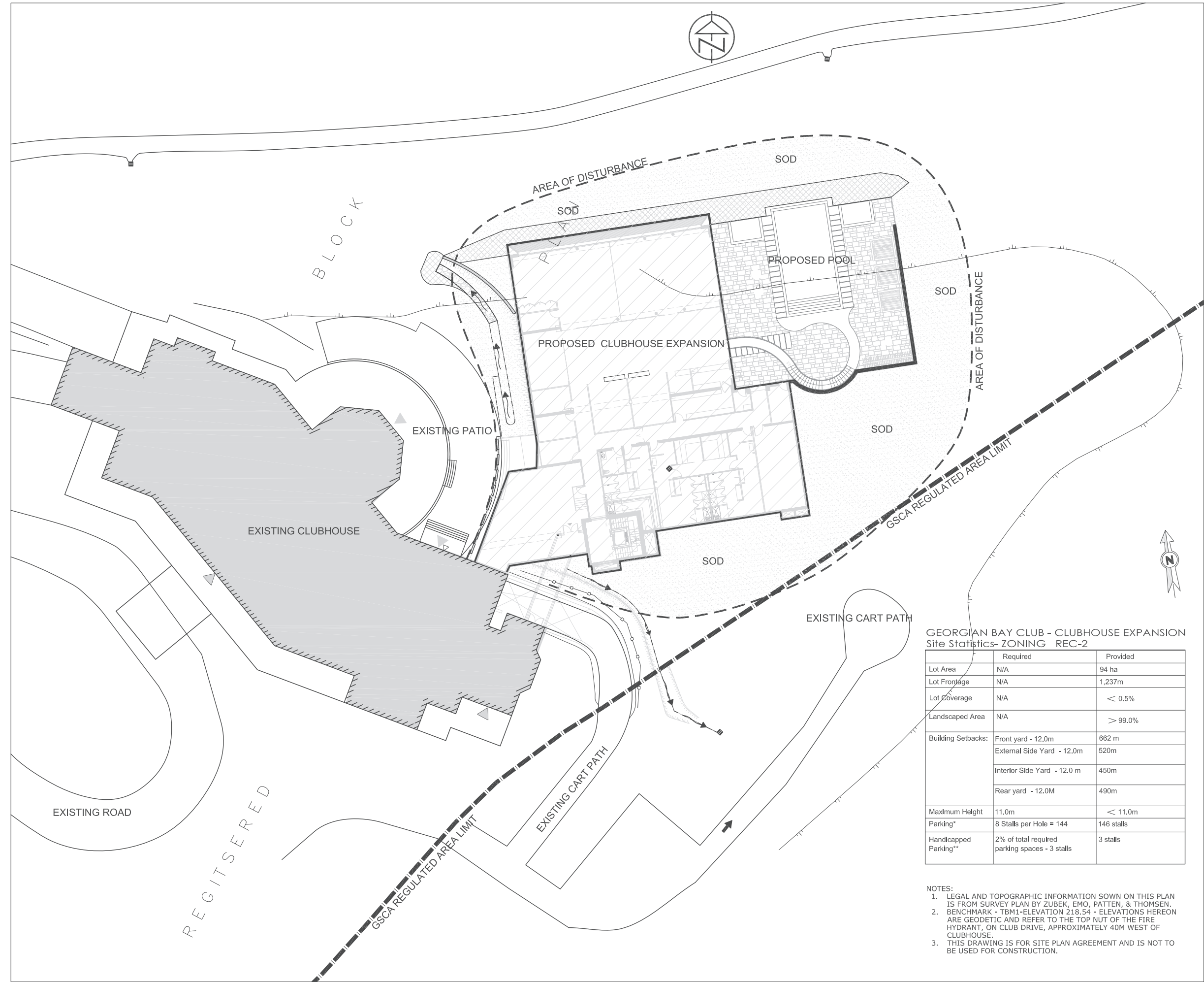
  
Adam Smith  
Director of Planning and Development Services

For more information, please contact:  
Michael Benner, Senior Planner  
[planning@thebluemountains.ca](mailto:planning@thebluemountains.ca)









GEORGIAN BAY CLUB - CLUBHOUSE EXPANSION  
Site Statistics- ZONING REC-2

	Required	Provided
Lot Area	N/A	94 ha
Lot Frontage	N/A	1,237m
Lot Coverage	N/A	< 0.5%
Landscaped Area	N/A	> 99.0%
Building Setbacks:	Front yard - 12.0m	662 m
	External Side Yard - 12.0m	520m
	Interior Side Yard - 12.0 m	450m
	Rear yard - 12.0M	490m
Maximum Height	11.0m	< 11.0m
Parking*	8 Stalls per Hole = 144	146 stalls
Handicapped Parking**	2% of total required parking spaces - 3 stalls	3 stalls

- NOTES:
- LEGAL AND TOPOGRAPHIC INFORMATION SOWN ON THIS PLAN IS FROM SURVEY PLAN BY ZUBEK, EMO, PATTEN, & THOMSEN.
  - BENCHMARK - TBM1-ELEVATION 218.54 - ELEVATIONS HEREON ARE GEODETIC AND REFER TO THE TOP NUT OF THE FIRE HYDRANT, ON CLUB DRIVE, APPROXIMATELY 40M WEST OF CLUBHOUSE.
  - THIS DRAWING IS FOR SITE PLAN AGREEMENT AND IS NOT TO BE USED FOR CONSTRUCTION.

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CONSULTANT STAMP:

#	DRAWING NAME	DATE
NO.	REVISION	DATE

PROJECT:  
**GEORGIAN BAY CLUB**  
CLUB HOUSE EXPANSION

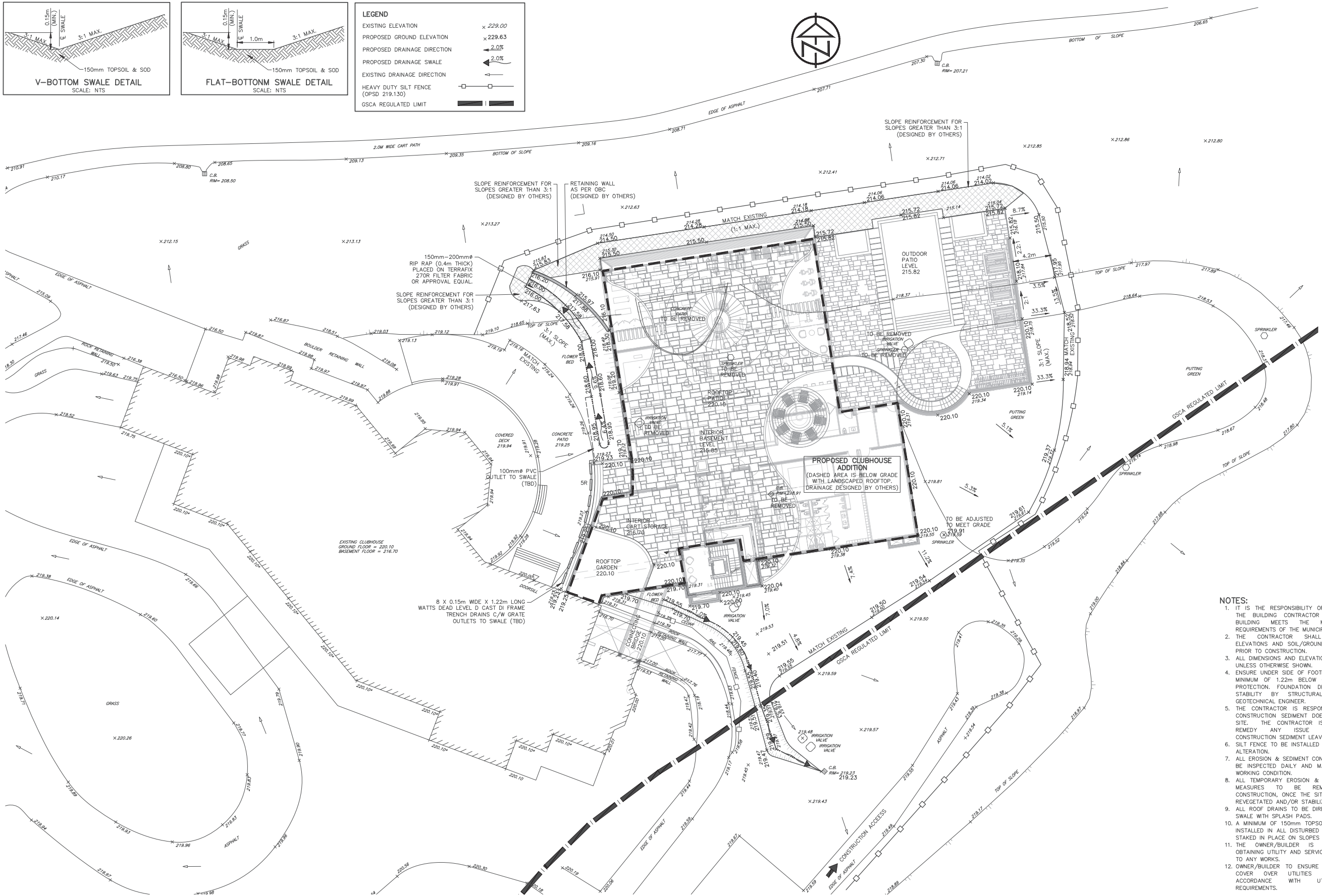
DRAWING TITLE:  
**SITE PLAN**

**DUNN|CAP**

SCALE: 1:200 @ 24" x 36"	PROJECT NUMBER: 19-0105
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DESIGN:	CHECK:	DRAWING NUMBER: SP-1
DRAWN: KSH	DATE: SEP.29/22	





- NOTES:
- IT IS THE RESPONSIBILITY OF THE OWNER AND THE BUILDING CONTRACTOR TO ENSURE THE BUILDING MEETS THE MINIMUM SETBACK REQUIREMENTS OF THE MUNICIPALITY.
  - THE CONTRACTOR SHALL CONFIRM SITE ELEVATIONS AND SOIL/GROUNDWATER CONDITIONS PRIOR TO CONSTRUCTION.
  - ALL DIMENSIONS AND ELEVATIONS ARE IN METERS UNLESS OTHERWISE SHOWN.
  - ENSURE UNDER SIDE OF FOOTING ELEVATION IS A MINIMUM OF 1.22m BELOW GRADE FOR FROST PROTECTION. FOUNDATION DESIGN AND SLOPE STABILITY BY STRUCTURAL ENGINEER AND GEOTECHNICAL ENGINEER.
  - THE CONTRACTOR IS RESPONSIBLE TO ENSURE CONSTRUCTION SEDIMENT DOES NOT LEAVE THE SITE. THE CONTRACTOR IS RESPONSIBLE TO REMEDY ANY ISSUE RESULTING FROM CONSTRUCTION SEDIMENT LEAVING THE SITE.
  - SILT FENCE TO BE INSTALLED PRIOR TO ANY SITE ALTERATION.
  - ALL EROSION & SEDIMENT CONTROL MEASURES TO BE INSPECTED DAILY AND MAINTAINED IN GOOD WORKING CONDITION.
  - ALL TEMPORARY EROSION & SEDIMENT CONTROL MEASURES TO BE REMOVED FOLLOWING CONSTRUCTION, ONCE THE SITE HAS BEEN FULLY REVEGETATED AND/OR STABILIZED.
  - ALL ROOF DRAINS TO BE DIRECTED TO SIDEYARD SWALE WITH SPLASH PADS.
  - A MINIMUM OF 150mm TOPSOIL AND SOD TO BE INSTALLED IN ALL DISTURBED AREAS. SOD TO BE STAKED IN PLACE ON SLOPES GREATER THAN 3:1.
  - THE OWNER/BUILDER IS RESPONSIBLE FOR OBTAINING UTILITY AND SERVICING LOCATES PRIOR TO ANY WORKS.
  - OWNER/BUILDER TO ENSURE A MINIMUM EARTH COVER OVER UTILITIES IS PROVIDED IN ACCORDANCE WITH UTILITY PROVIDER REQUIREMENTS.

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BENCHMARKS

TBM1 - ELEVATION 218.54  
ELEVATIONS HEREON ARE GEODETIC AND REFER TO THE TOP NUT OF FIRE HYDRANT, ON CLUB DRIVE, APPROXIMATELY 40m WEST OF CLUB HOUSE.

NOTES

LEGAL AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS FROM SURVEY PLAN BY ZUBEK, EMO, PATTEN & THOMSEN.

No.	REVISION DESCRIPTION	DATE
1.	1ST SUBMISSION	JUL 20/21
2.	2ND SUBMISSION	OCT 01/21
3.	3RD SUBMISSION (SITE PLAN APPROVAL)	SEPT 28/22

ENGINEER STAMP



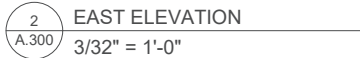
GEORGIAN BAY CLUB  
CLUB HOUSE EXPANSION  
TOWN OF THE BLUE MOUNTAINS

SITE GRADING PLAN



DESIGN: RD	FILE: 121207	DWG:
DRAWN: RD	DATE: JULY 2021	SG-1
CHECK: JPA/RS	SCALE: 1:200	

EXTERIOR FINISH SCHEDULE		
	MATERIAL/FINISH	COLOR
1	STONE CLADDING	GREY
2	EXPOSED BOARD-FORMED CONCRETE	GREY
3	METAL WOOD EFFECT PANELS	BROWN



2	22/08/23	Issued for BP_Revised	AB
1	21/07/16	Issued for BP	AB

Note:

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FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

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Architect's Stamp

Project:

## GEORGIAN BAY CLUB

516689 7 Line, Clarksburg, ON N0H 1J0

Sheet Title:

## ELEVATIONS

Design By: A.M.	Drawn By: S.M.	Approved By: A.B.
Scale: 3/32"=1'-0"	Date: 2022.07.05	Project No.: 21-006

Drawing No.

## A.300

Drawing Series:

ARCHITECTURAL