



Staff Report

Planning and Development Services – Planning Division

Report To: Director of Planning & Development Services
Meeting Date: January 24, 2023
Report Number: PDS.23.014
Subject: Recommendation Report – Blue Mountain Resorts Boathouse 4 – Conditional Site Plan Approval
Prepared by: Michael Benner, Senior Planner

A. Recommendations

THAT Council receive Staff Report PDS.23.014, entitled "Recommendation Report – Blue Mountain Resorts Boathouse 4 – Conditional Site Plan Approval";

AND THAT the Director of Planning & Development Services grant Site Plan Approval for the lands known as Lot 10 & 6 Plan 1065, Part 2 16R-10889, subject to the following conditions;

1. That the owner enters into a Site Plan Agreement within 90 days of this site plan approval, dealing with the general site development and the following additional matters:
 - a) That final Elevation Plans and Landscaping Plans be signed Approved for Construction by the Town;
 - b) That the applicant shall obtain all necessary permits for the boathouse from the appropriate approval authorities including, but not necessarily limited to Building Permits;
 - c) That the applicant shall provide a security in the amount of \$10,000.00, in a form satisfactory to the Town, to ensure the obligations of the applicant are carried out as required by the terms of the agreement;
2. That the Owner shall enter into development agreements or other necessary agreements or obtain necessary approvals, satisfactory to the Town, or any other appropriate authority, before any development or site alteration can proceed within the development area including filling, grading, removing trees and/or topsoil, installing any works, or constructing any buildings or structures.
3. That this conditional approval is valid for a period of 90 days, after which, should the conditions not be met, the approval shall expire on April 24, 2023

B. Overview

The purpose of this report is to provide a recommendation for Site Plan Approval for the construction of “Boathouse 4” within the Blue Mountain Resorts property.

C. Executive Summary

Application File #: P3198

Application Received Date: March 11, 2022

Official Plan Designation: Blue Mountain Village Resort Area Core

Zoning Bylaw Category: Commercial (C5-67)

STA Permissions: No

Location: Blue Mountain Village

Legal Description: Lots 10 & 6 Plan 1065, Part 2 16R-10889

The Town has received a Site Plan Approval Application for the development of a commercial building referred to as Boathouse 4. This is the last building along the edge of the Mill Pond. The building is 672 m² in size and contains two units; a cafe (172 m²), and a LCBO retail outlet (500m²). A deck will also be constructed facing the Mill Pond.

The received application includes the following drawings and studies:

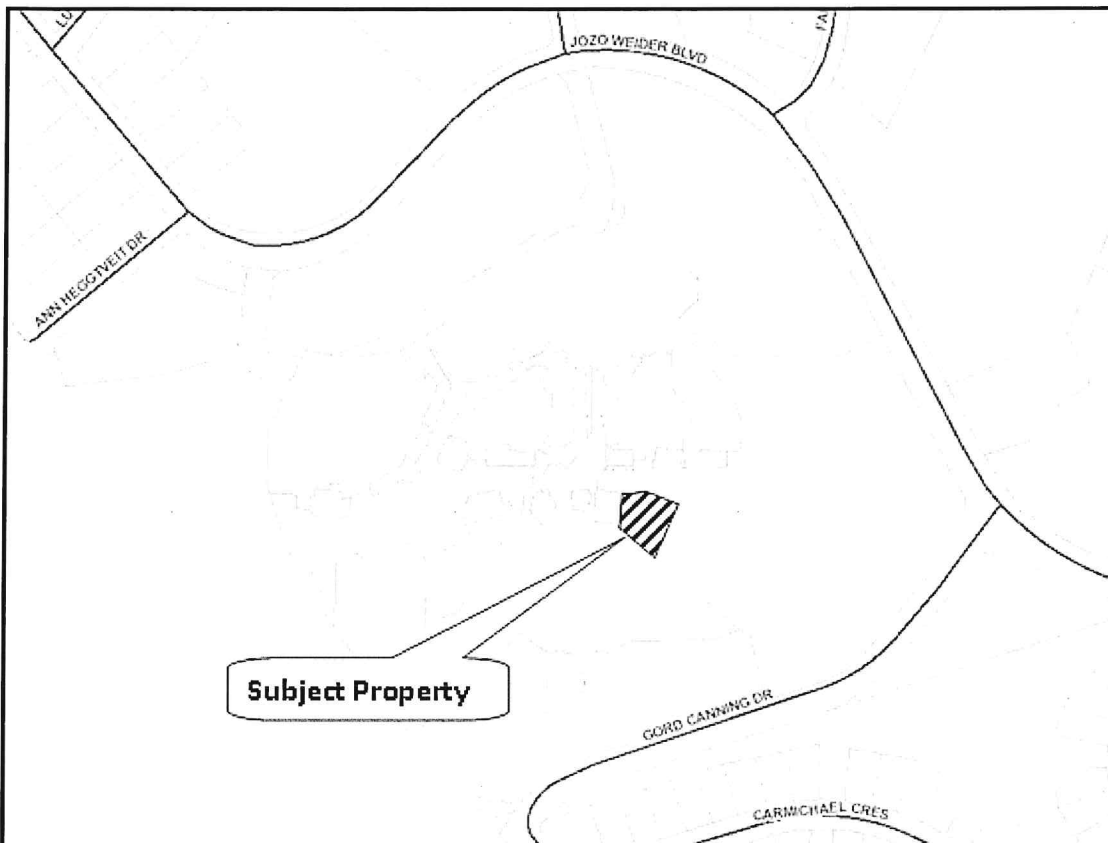
- Architectural Plans prepared by AGAR Architects dated April 2021
- Engineering Plans prepared by Tatham Consulting Engineering dated June 2022
- Geotechnical Investigation completed by Peto MacCallum dated May 2022
- Functional Servicing Brief completed by Tatham Consulting Engineering dated June 2022.

D. Background

The subject lands are one of 4 boathouse sites located in the Blue Mountain Resort Village core area.

A pre-consultation was conducted on the proposed boathouse April 7, 2022 with comments received from various Town Departments, the County of Grey and commenting agencies. Following the acceptance of the complete application, the project was further reviewed by internal departments and the Niagara Escarpment Commission. The NEC, in correspondence dated June 11, 2022, has noted that the proposal is acceptable.

Location Key Map



E. Analysis

Ontario Planning Act

The Ontario Planning Act authorizes municipal councils to regulate certain items related to building and site development enumerated under subs. 41(4) and (7). Section 41 speaks to the establishment of a site plan control area(s) within the Official Plan implemented by the council of the local municipality. Section 41(4) of the Planning Act speaks to what control can be exercised over the site plan control area(s). When reviewing the boathouse 4 submission site plan control will be exercised over the conceptual design of the building, relationship to adjacent buildings, provision of interior walkways, stairs, and escalators to which members of the public have access to from streets and open spaces, the design features of the building, and

facilities designed for accessibility for persons with disabilities. Section 41(7) speaks to the conditions of approval of plans. Conditions of approval of the Boathouse 4 construction are included in Section A of this report. Based on a review of the pertinent requirements, Staff have no concerns with respect to the provisions of Section 41(4) and (7) the Ontario Planning Act.

Under the recently passed Bill 109, The Planning Act has been further amended to introduce new approval timelines for specific applications made under the Act. Subsection 41(12) now stipulates an approval period of 60 days from the receipt of the application drawings to final approval. Failure to make a decision in that timeline opens the municipality up to an escalating refund of application fees depending on the length of time taken beyond 60 days to make the approval. Although the subject application is not specifically impacted by this change, as it was submitted prior to the enacting of Subsection 41(12), the length of time for site plan approval still needs to be considered. Accordingly, technical matters such as the need for “Accepted For Construction” drawings are now being included as a condition of site plan approval so as to not unnecessarily hold up the initial site plan approval timing. This approach is similar to draft plan conditions for a plan of subdivision.

The Provincial Policy Statement

The Provincial Policy Statement provides direction on appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural environment.

Matters of provincial interest were considered and Planning Staff are satisfied that the proposed Boathouse 4 is consistent with the intent and direction of the Provincial Policy Statement.

The County of Grey Official Plan, 2018

The County of Grey Official Plan, 2018, identifies the subject lands as being located within the *Recreational Resort Area* designation. This designation applies to settlement areas which have developed as a result of site-specific amendments to the County and local Official Plan. This designation consists of a defined development area, specific recreational amenities, and residential development serviced with full municipal services.

Planning Staff are satisfied that the proposed development is consistent with the direction of the County of Grey Official Plan.

Town of The Blue Mountains Official Plan

The Town of The Blue Mountains Official Plan designates the subject lands as “Blue Mountain Village Resort Area Core”. The intent of the Blue Mountain Village Resort Area Core designation is to provide for an integration of residential, recreational, resort and commercial uses in a location that is both within walking distance of the ski facilities and readily accessible to the surrounding residential population. Subsection B3.10.6 provides additional policy direction for the Resort Area Core designation that re-iterates the direction of the Blue Mountain Village Master Development Agreement and Master Site Plan.

Subsection B3.10.6.1(f) notes that:

Within the Blue Mountain Village Resort Area Core designation, the total retail and service commercial floor space shall not exceed 9,300 m² and the maximum residential units yield shall not exceed 300 units. The retail and service commercial floor space may increase by a maximum of 110 m² provided an additional 110 m² of floor space is provided for civic uses. These areas do not include the uses within Grand Central Lodge.

Approximately 6,964 square metres of retail and service commercial floor space has been developed in the Village Core area to date. The addition of Boathouse 4, at 672 square metres, will increase the retail and service commercial floor area to 7,636 square metres. Still well within the 9,300 square metre maximum.

Planning Staff are satisfied that the proposed development is consistent with the direction of the Town's Official Plan.

The Blue Mountains Zoning By-law 2018-65

By-law 2018-65, under Section 1.5 (f), notes that the provisions of the former Township of Collingwood By-law 83-40, and all amendments thereto, continue to apply to the Blue Mountains Resort Core Area (which includes the subject lands).

The Former Township of Collingwood By-law 83-40, (as amended by by-laws 85-3, 99-71, 2000-50 and minor variance A06-2105) places the Boathouse 4 site within the Village Core General Commercial C5-67 zoning category.

The C5-67 zone, as amended by the above-noted by-laws and variance, now contains the following provisions:

(Zone Provisions 83-40)

- a) Min Lot Area: 2800 metres sq.
- b) Min Lot frontage: 60 metres
- c) Max Lot coverage: 30 percent
- d) Max GFA: 100 per cent
- e) Min Front Yard: 15 metres
- f) Min Side and Rear Yard: 0 metres unless it abuts a public street, than it is 15 metres
- g) Max height: 5 storeys to a max of 16 metres
- h) Landscaped area: at least 25 % of lot area as open space

(Amending By-law 85-3)

- a) Maximum of 125 dwelling units (further amended through A06-2015 noted below)
- b) Maximum of 9,300 square metres of gross commercial floor space
- c) Minimum of 314 parking spaces

(Amending By-law 99-71)

- a) An underground parking space shall have a minimum length of 5.7 metres and minimum width of 2.6 metres
- b) Where there is a median dividing an ingress and egress, the maximum combined width of an ingress and egress driveway, excluding the median shall be 12 metres.

(Amending By-law 2000-50)

Parking:

- a) 0.8 spaces for each hotel unit;
- b) 3.5 spaces for every 100 metres sq. of gross floor area for all other uses permitted in Section 15.1; and
- c) 30% required parking spaces within the C5 zone as calculated in (a) and (b) above shall be surface parking.

(Minor Variance A06-2015)

Increased maximum dwelling units in the C5-67 zone to 175 dwelling units.

Planning staff are satisfied that the development, as currently proposed, complies with the above zoning provisions.

Analysis Results

The proposed development complies with and is supported by the provisions of the Provincial Policy Statement, the County of Grey Official Plan, The Town of The Blue Mountains Official Plan and the Municipal Zoning By-law. Planning staff, therefore, do not have any concerns recommending that conditional Site Plan approval be granted and a Site Plan Agreement be entered into between Bydem BH4 Inc. and the Town.

F. Strategic Priorities

3. Community

We will protect and enhance the community feel and the character of the Town, while ensuring the responsible use of resources and restoration of nature.

4. Quality of Life

We will foster a high quality of life for full-time and part-time residents of all ages and stages, while welcoming visitors.

G. Environmental Impacts

No environmental impacts are anticipated as a result of this application.

H. Financial Impact

No financial impacts are anticipated as a result of this application.

I. In consultation with

Deanna Vickory, Development Engineering Supervisor

J. Public Engagement

The topic of this Staff Report has not been subject to a Public Meeting and/or a Public Information Centre as neither a Public Meeting nor a Public Information Centre are required. Comments regarding this report should be submitted to Michael Benner, planning@thebluemountains.ca

K. Attached

1. Applicant's Site Plan

Respectfully submitted,



Michael Benner, MCIP RPP
Senior Planner

Reviewed by,



Shawn Postma, RPP
Manager of Community Planning

In accordance with Delegated Authority By-law 2012-76, as amended, I hereby grant conditional site plan approval pursuant to Section 41 of the Planning Act, subject to the conditions outlined in Staff Report PDS.23.014.



Adam Smith
Director of Planning and Development Services

For more information, please contact:
Michael Benner, Senior Planner
planning@thebluemountains.ca
519-599-3131 extension 283



s i t e d a t a		
1. GROSS SITE AREA:	1,499 s.m.	
2. BUILDING AREA:	EXISTING BUILDING: 208 s.m. PROPOSED BUILDING: 672 s.m. TOTAL: 880 s.m.	
3. ASPHALT AREA:	0 s.m.	
ITEM	A	REQUIREMENTS
4. ZONES		SECT 15.3 OF 83-40
5. LOT AREA (m2) MIN AND LOT DEPTH	N/A	1,499 s.m.
6. LOT FRONTAGE (MIN.)	N/A	58.6m
7. FRONT YARD (m) MAIN BUILDING / GARAGE (m) MIN.	0.0	2.47m
8. REAR YARD (m) MIN	0.0	1.67m
9. INTERIOR YARD (m) MIN EAST SIDE	0.0	EAST SIDE = 1.83m WEST SIDE = 18.36m
10. EXTERIOR YARD DEPTH (MIN.)	0.0 m	N/A
11. LOT COVERAGE MAX. (ON GROSS SITE)	N/A	N/A
12. LANDSCAPED OPEN SPACE (%) MIN.	N/A	N/A
13. BUILDING HEIGHT (MAX.)	4 STORIES OR 13m	7.86 m
14. PARKING REQ.	3.5 SPACE PER 100 m2 ON 880 m2 (COMBINED 2 MERCANTILE) = 31 SPACES *REDUCED TO 0 BY ZBA	0
15. MINIMUM DISTANCE BETWEEN BUILDINGS	1m PER 5m OF BUILDING HEIGHT = 7.86m / 5 = 1.57	2.56m

1	APRIL 20/21	ISSUED FOR CLIENT REVIEW
2	MARCH 9/10	ISSUED FOR SITE PLAN PRE-CON
3	JUNE 2/22	ISSUED FOR SITE PLAN APPROVAL

AA AGAR ARCHITECT
philip agar architect inc.
513 queens avenue, london, on n6b 1y3
tel: 519 432-7368 info@agar-arch.com

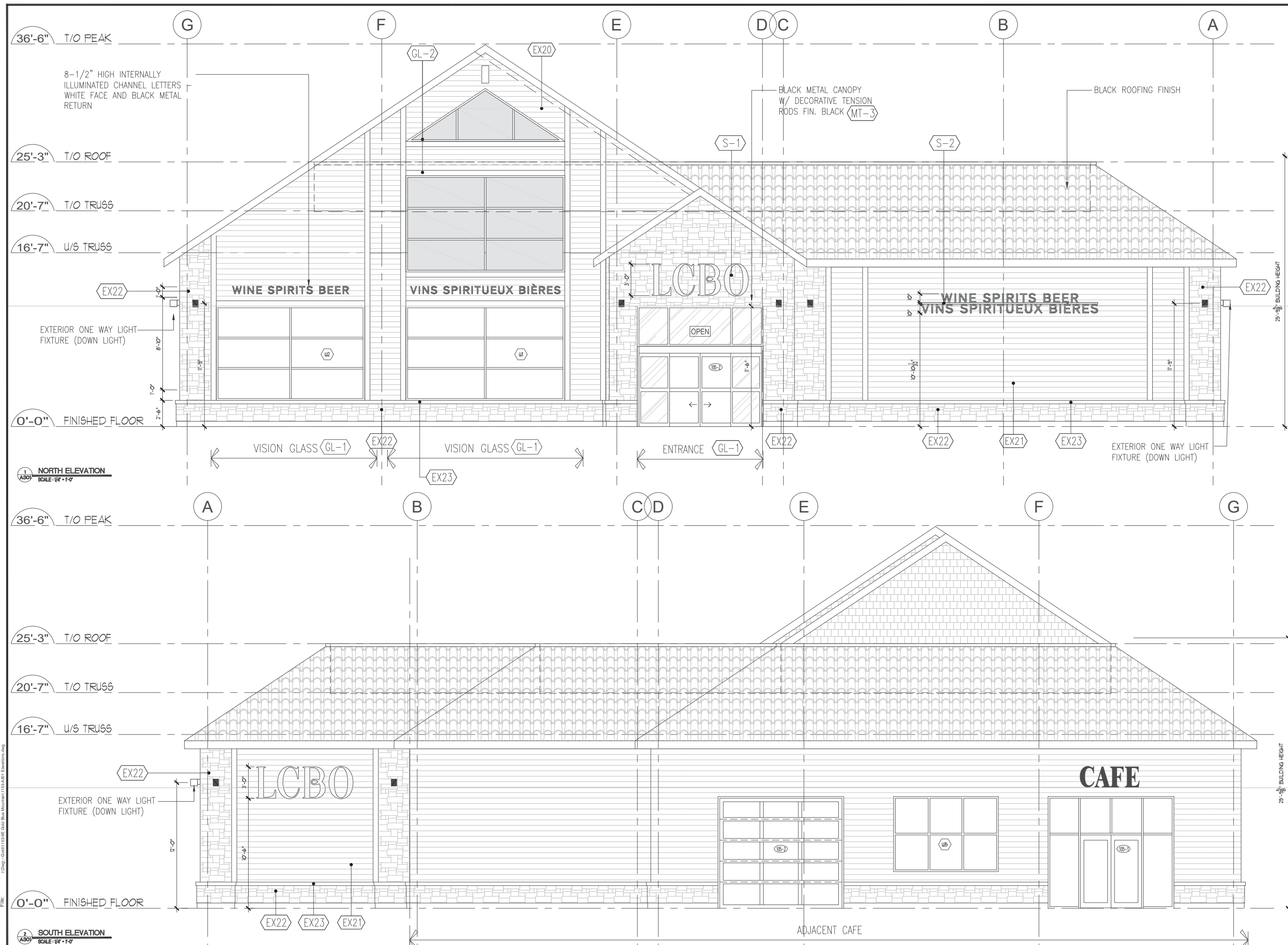
SITE PLAN

HIGHBURY ASSET MANAGEMENT

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Scale:	1/8"=1'-0"
Dwn/Chkd. By:	RA
Date:	APRIL 2021

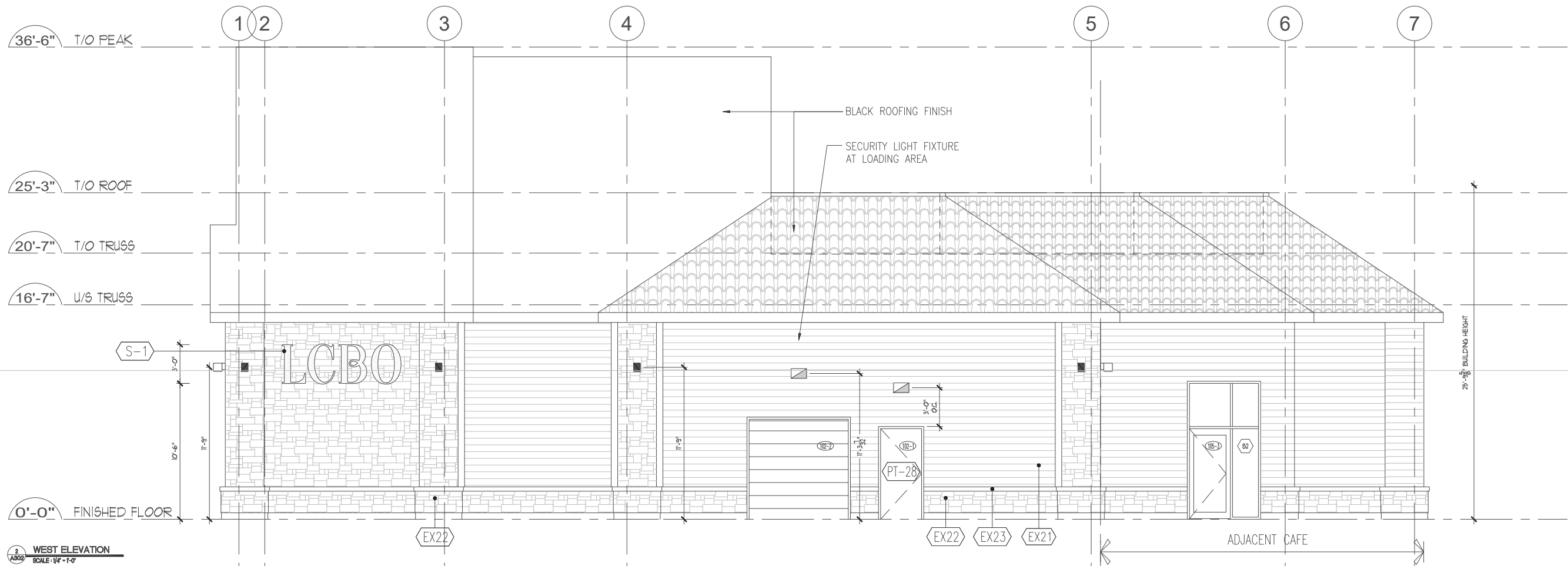
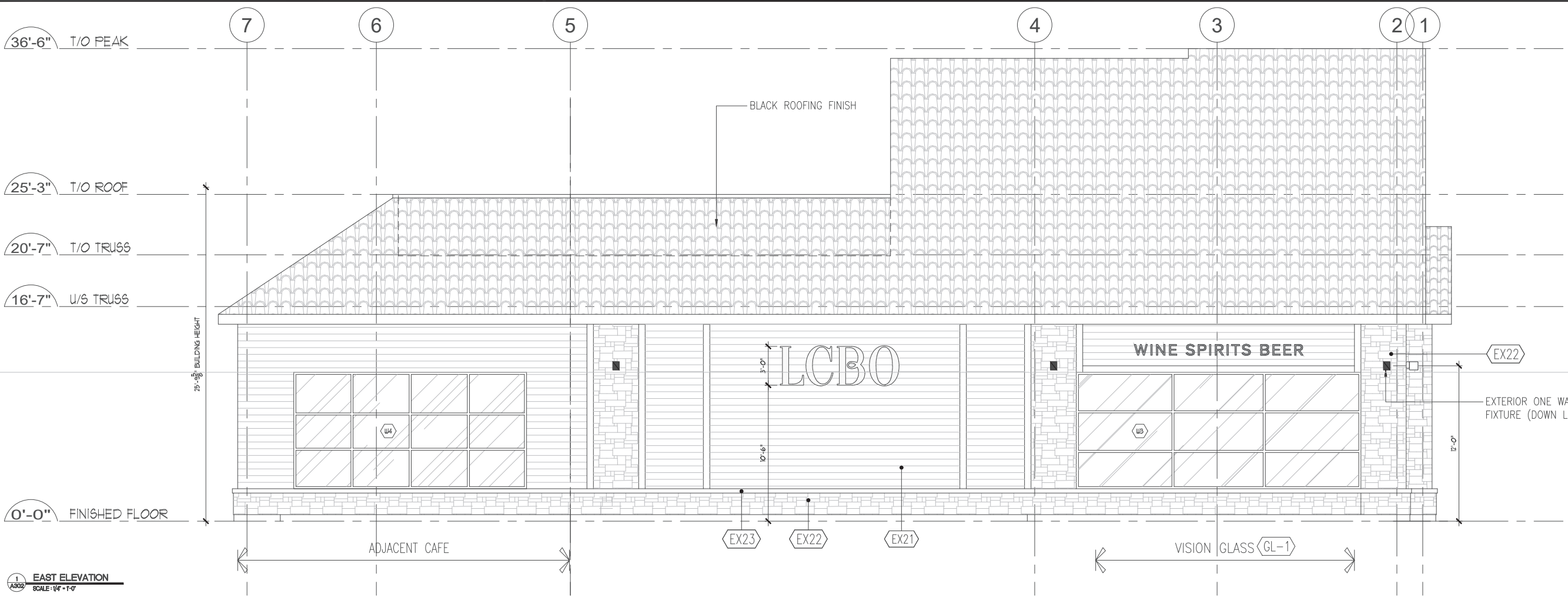
Dwg. No:

A101



<div>A301</div>	Dwg. No:	1153	HIGHBURY ASSET MANAGEMENT	<div>ELEVATIONS</div> <div>PROPOSED BLDG R9 GEORGIAN BAY WAY COLLINGWOOD, ONTARIO</div> <div><div>AA AGAR ARCHITECT</div><div>philip agar architect inc. 513 queens avenue, london, on n6b 1v3 tel: 519 452-7898 info@agar-arch.com</div></div>	<div><div>ISSUED FOR CLIENT REVIEW APRIL 20/21 1</div><div>ISSUED FOR PERMIT APPLICATION MAY 20/21 2</div><div>ISSUED FOR SITE PLAN APPROVAL JUNE 20/22 3</div><div>OCT 20/22 NEW DOORS/WINDOWS 4</div></div> <div><div>All survey information, existing & proposed measures herein are to be confirmed on site by the contractor. The contractor shall immediately notify the designer if there is any discrepancy between the field measurements and the design information provided. If the design is based on field measurements, the accuracy, this drawing is a representation of services & remains the property of the author/firm. This drawing & its contents shall remain confidential & it is agreed that no part thereof shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage & retrieval system, without written permission from the author/firm.</div><div>Check scale, print may be reduced: 1/2 inch 10 mm</div></div>
	Project No:	AS NOTED			
	Scale:	RA/PA			
	Dwn/Chkd By:	APRIL 2021			
	Date:				

Last Saved: Tuesday, October 04, 2022
Printed: Thursday, October 20, 2022
File: E:\DWG\G0001153-A301 Elevations.dwg



Project No:	1153	Project Name:	PROPOSED BLDG R9 GEORGIAN BAY WAY COLLINGWOOD, ONTARIO
Scale:	AS NOTED	Project Manager:	HIGHBURY ASSET MANAGEMENT
Dwn/Chkd. By:	RA/PA	Project No:	1153
Date:	APRIL 2021	Project Name:	PROPOSED BLDG R9 GEORGIAN BAY WAY COLLINGWOOD, ONTARIO

1 APRIL 2021 ISSUED FOR CLIENT REVIEW

2 MARCH 4/22 ISSUED FOR SITE PLAN PRE-CON

3 JUNE 2/22 ISSUED FOR SITE PLAN APPROVAL

4 OCT 2022 REV DOORS/WINDOWS

All survey information, sketches & proposed measurements are to be confirmed on site by the contractor. The contractor shall immediately notify the architect of all inaccuracies, errors or omissions in this or other documents, or in their relation to each other or to the site. Do not proceed where there is a discrepancy between the drawings and the site conditions. The contractor shall be responsible for the accuracy of the information represented in it and for the protection of the drawings and shall not be held responsible for any loss or damage to the drawings or for any error or omission in the drawings. Check scale, print may be reduced.

1/8" = 1'-0"
10 mm





1	APRIL 2/21	ISSUED FOR CLIENT REVIEW
2	MARCH 9/22	ISSUED FOR SITE PLAN PRE-CON
3	JUNE 2/22	ISSUED FOR SITE PLAN APPROVAL
4		
5		
6		
7		
8		
9		

AA AGAR ARCHITECT
philip agar architect inc.
513 queens avenue, london, on n6b 1y3
tel: 519 432-7368 info@agar-arch.com

SITE SECTIONS

HIGHBURY ASSET MANAGEMENT

Project No:	1153
Scale:	AS NOTED
Dwn/Chkd. By:	RA/PA
Date:	APRIL 2021

Dwg. No:

A401

Last Saved: Thursday, June 23, 2022
Plotted: Thursday, June 30, 2022
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