



Staff Report

Planning and Development Services – Planning Division

Report To: Director of Planning & Development Services
Meeting Date: January 24, 2023
Report Number: PDS.23.015
Subject: Recommendation Report – Cidery Towns (Manorwood) –
Conditional Site Plan Approval
Prepared by: Michael Benner, Senior Planner

A. Recommendations

THAT Council receive Staff Report PDS.23.015, entitled “Recommendation Report – Cidery Towns (Manorwood) – Conditional Site Plan Approval”;

AND THAT the Director of Planning & Development Services grant Site Plan Approval for the lands known as the Cidery Towns, subject to the following conditions;

1. That the owner enters into a Site Plan Agreement within 90 days of this site plan approval, dealing with the general site development and the following additional matters:
 - a. That final engineering, architectural and landscape drawings and plans be signed ‘Approved for Construction’ by the Town.
 - b. That the Engineering drawings of the external stormwater conveyance and outlet system along Elgin Street will be updated to incorporate the results of geotechnical investigations along the route, such that the foundation design of the sewer & appurtenances may be verified.
 - c. That Professional opinion and/or additional data on the seasonally high ground water table elevation on the site be provided to verify the site design.
 - d. That the Owner acknowledges that this Site Plan Approval provides water plant and sanitary sewer plant reservation. Site Plan Approval does not constitute a commitment by the Town to provide servicing access to the Town’s water or wastewater treatment plants or allocation of associated built capacity. Prior to execution of a Site Plan Agreement sufficient water and sanitary sewer capacity shall be confirmed as available and allocated by the Town.

- e. That the owner shall obtain all necessary permits for the Cidery Towns Development from the appropriate approval authorities including, but not necessarily limited to County of Grey Condominium Approval and Municipal Building Permits.
- f. That the owner shall provide securities, in a form satisfactory to the Town, for the cost of all on-site and associated off-site civil engineering works, excluding works subject to a Building Permit, and all approved landscaping works.
- g. That the Owner shall agree to:
 - i. Convey Part 2, Plan 16R-9726, to the Town as a road widening/public trail.
 - ii. Grant an easement over Part 4, and part of Part 5, Plan 16R-9726, to the Town for access to Smith Memorial Park/Cedar Grove Park and the Medical Centre lands.
 - iii. Grant an easement in favour of the Town over the westerly portion of the internal condominium road for the purpose of providing access to the Medical Centre lands.
 - iv. Convey the open space block to the Town upon completion of construction in accordance with the Approved for Construction Landscape Plan.
 - v. To provide any other easements for any required service provider, prior to the creation of the Condominium Corporation.
 - vi. To prepare any reference plans required to describe any land transfers or easements required by the Site Plan Agreement.
- h. That the Town shall agree to:
 - i. Convey Parts 4, 5, and 6, Plan 16R-9726 to the Owner.
 - ii. Grant an easement in favour of the Owner over Parts 11 and 14, Plan 16R-9726, for emergency access to the subject lands.
- i. That appropriate warning clauses be included in all agreements of purchase and sale, and registered on title of the lands, regarding proximity to industrial uses.
- j. That the development shall proceed as a standard condominium. Changes to the ownership tenure or condominium format may be altered at the sole cost of the applicant or any successor to the site plan agreement and may require an amendment to the site plan agreement and any other Planning Act approvals deemed necessary by the Town or the County of Grey. Any resulting amendments or planning approvals shall be at the sole risk and cost to the Owner.

- k. The Consultant shall provide a 'Communications Plan' to notify the Town and area residents of significant construction activities to the satisfaction of the Town. At a minimum the Plan shall provide:
 - i. Bi-weekly schedules of intended site activities.
 - ii. Installation of a Project Notification Sign, 1.2m x 2.4m minimum, to Town template, at each construction access to the Lands and visually obvious to the public, at least two (2) weeks before the construction start date, and maintained for full duration of construction.
 - iii. Notification of the construction project to property owners within a 120 m boundary of the site property lines via hand/mail delivery.
 - iv. A minimum of two (2) weeks' notice following Town approval and prior to commencement of:
 - a. Significant site activities such as site alteration works e.g. tree clearing, site in-filling, off site haulage of material, site servicing/grading operations, connections to Town infrastructure, utility works, placement of asphalt, concrete curbs and sidewalk, and landscaping
 - b. Off-site works on Town Owned Lands/Roads following receipt of a Municipal Land Use Permit (MLUP)
2. The Owner shall agree to include a clause within all Offers of Purchase and Sale Agreements with prospective purchasers advising that industrial uses/businesses adjacent to the development may generate related noise, vibration, odour, and other such nuisances.
3. That the Owner shall enter into development agreements or other necessary agreements or obtain necessary approvals, satisfactory to the Town, or any other appropriate authority, before any development or site alteration can proceed within the development area including filling, grading, removing trees and/or topsoil, installing any works, or constructing any buildings or structures.
4. That this conditional approval is valid for a period of 90 days, after which, should the conditions not be met, the approval shall expire on April 24, 2023 at the discretion of the Director of Planning and Development Services.

B. Overview

The purpose of this report is to provide a recommendation to the Director of Planning and Development Services regarding an application for Site Plan Approval. The application proposes the development of the lands for a total of forty-two (42) residential townhouse dwelling units. A Standard Condominium is proposed to be established on the lands following the granting of

site plan approval by the Town. The proposed site development plan is included in Attachment 1 to Staff Recommendation Report PDS.23.015.

C. Executive Summary

Application File #: P3036

Application Received Date: May 7, 2021

Official Plan Designation: Community Living Area

Zoning Bylaw Category: Residential 2-75-h7

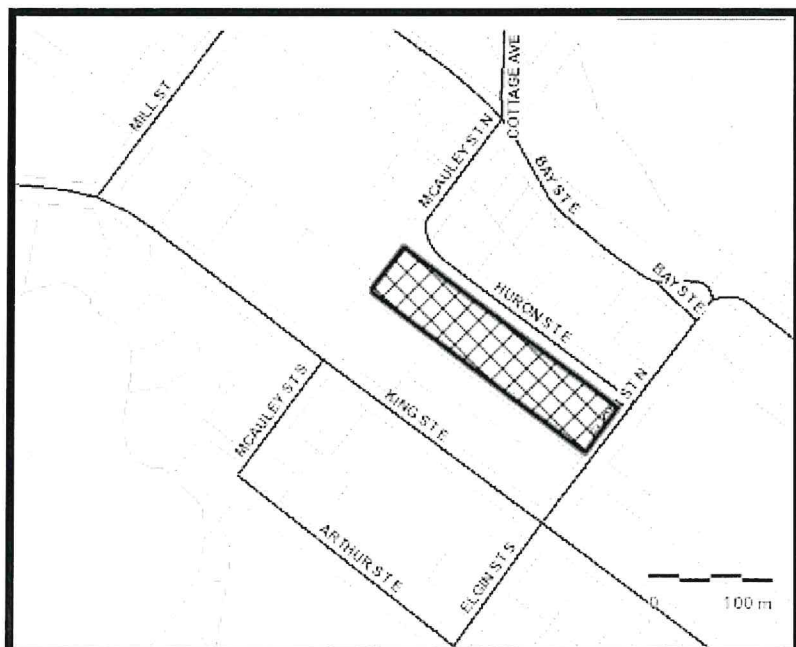
STA Permissions: No

D. Background

The Subject Lands are approximately 9,502sq.m. in size, and are located at the intersection of Elgin Street North and Huron Street East in the Thornbury settlement area. The lands are currently vacant and surrounding land uses include the Thornbury Cidery, Breaker Technologies, the Thornbury Medical Clinic, and low-density residential uses. Cedar Grove Park also abuts the Subject Lands to the west. The Site Plan Application proposes the development of the lands for forty-two (42) townhouse condominium units on the Subject Lands. A location map and aerial photo of the Subject Lands is provided below as Figures 1 and 2.

The proposed development plan includes the use of what are currently municipally owned lands that would be integral to the development of the site, as envisioned in an earlier concept development plan from 2009 proposed by previous owners of the lands, as outlined in Staff Report PDS.22.004. By Resolution dated July 4, 2022, Council directed staff to complete the land transfer through the Site Plan Control Agreement and authorized the Clerk and Mayor to execute the necessary transfer documents. The necessary land transfers and easements are outlined in the recommendation section (above) of this report.

Figure 1: Location Key Map



E. Analysis

Pursuant to Section 41(2) of the Planning Act, the Council of the Town of The Blue Mountains has designated all land within the municipality as a site plan control area. The Town of The Blue Mountains Site Plan Control By-law 2010-57, as amended, requires site plan approval for the proposed townhouse development. A brief analysis of the applicable planning policies is provided below in consideration of granting conditional site plan approval.

Ontario Planning Act

The Ontario Planning Act authorizes municipal councils to regulate certain items related to building and site development enumerated under subs. 41(4) and (7). Section 41 speaks to the establishment of a site plan control area(s) within the Official Plan implemented by the council of the local municipality. Section 41(4) of the Planning Act speaks to what control can be exercised over the site plan control area(s). When reviewing the submission, site plan control will be exercised over the conceptual design of the building, relationship to adjacent buildings, provision of interior walkways, stairs, and escalators to which members of the public have access to from streets and open spaces, the design features of the building, and facilities designed for accessibility for persons with disabilities. Section 41(7) speaks to the conditions of approval of plans. Conditions of approval of the Cidery Towns (Manorwood) construction are included in Section A of this report. Based on a review of the pertinent requirements, Staff have no concerns with respect to the provisions of Section 41(4) and (7) the Ontario Planning Act.

Under the recently passed Bill 109, The Planning Act has been further amended to introduce new approval timelines for specific applications made under the Act. Subsection 41(12) now stipulates an approval period of 60 days from the receipt of the application drawings to final approval. Failure to make a decision in that timeline opens the municipality up to an escalating refund of application fees depending on the length of time taken beyond 60 days to make the approval. Although the subject application is not specifically impacted by this change, as it was submitted prior to the enacting of Subsection 41(12), the length of time for site plan approval still needs to be considered. Accordingly, technical matters such as the need for “Accepted For Construction” drawings are now being included as a condition of site plan approval so as to not unnecessarily hold up the initial site plan approval timing. This approach is similar to draft plan conditions for a plan of subdivision.

The Provincial Policy Statement, 2020

The Provincial Policy Statement, 2020, (“The PPS”) provides policy direction on matters of provincial interest related to land use planning and development and further provides for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environment.

The proposed development is consistent with the policies of the Provincial Policy Statement with respect to managing and directing land use to achieve efficient and resilient development and land use patterns (S.1.1), directing urban development to established settlement areas (S.1.1.3), providing land uses compatible with the established uses in the area (S.1.2.6),

contributing to a range of housing types within the municipality (S.1.4), and contributes to healthy, active communities through provision of functional open space areas and connecting trail linkages (S.1.5). The lands are also adequately serviced with full municipal water and sewer infrastructure, does not negatively impact natural heritage features adjacent to the lands (S2.0), and satisfies the policies of the PPS with respect to protecting public health and safety (S3.0) as there are no man made or naturally occurring hazards identified on the site.

Planning Staff are satisfied that that the proposed development is consistent with the intent and purpose of the Provincial Policy Statement, 2020.

County of Grey Official Plan, 2018

The County of Grey Official Plan designates the subject lands as *Primary Settlement Area*. Primary Settlement Areas are areas suitable for high intensification targets, public transit services, and have full municipal services. Municipalities with primary settlement areas will, in their official plans, identify and plan for intensification within these areas.

The development of high-quality urban form and open public spaces within these areas is also encouraged through site design, and urban design standards, to create attractive and vibrant places that support walking and cycling for everyday activities and are transit-supportive.

The proposed site development is supported by the County of Grey Official Plan as it is a residential development on full municipal water and sanitary sewer services, providing a more intensified form of residential development and provides walking and cycling connections to the Georgian Trail and local street network.

Town of The Blue Mountains Official Plan, 2016

The Town of The Blue Mountains Official Plan designates the subject property as *Community Living Area* (CLA). Section B3.1 of the Official Plan lays out the policy framework for the CLA. It is the intent of the Community Living Area to:

- maintain the unique small town feel and character of Thornbury and Clarksburg;
- maintain compatibility and where necessary, enhance the character and identity of existing residential areas;
- encourage the provision of a full range of housing opportunities to meet the Town's housing needs;
- promote the efficient use of existing and planned infrastructure by creating the opportunity for residential intensification, where appropriate; and,
- maintain the community's low (height) profile and low density feel.

Section B3.1.4 provides criteria for density and height for new greenfield developments. These policies state that townhouse developments should provide a density range of 25-40 units per gross hectare, and the proposal is providing a density of 31.34 units per hectare. The policies also provide a maximum height of 3 storeys, and the proposed units will be 2 storeys high.

Section B3.1.5.3 provides additional development criteria related to intensification and greenfield development. These policies address preferred site characteristic such as shadow impacts, neighbourhood character, yard and streetscape character, varied built form, integrated landscaping, and impacts on traffic and parking. Staff have reviewed the proposal based on these parameters and are satisfied that this additional development criteria has been addressed.

Staff are satisfied that the proposal conforms with the intent and direction of the County and Town Official Plans.

Town of The Blue Mountains Zoning By-law 2018-65

The subject lands are zoned R2-75-h7 by the Town of The Blue Mountains Zoning By-law 2018-65. The holding 'h' symbol may be removed from the property at such a time that a Site Plan Agreement has been executed for the lands. The holding symbol must be removed from the lands by Council in order to facilitate the issuance of building permits. Permitted uses within the R2 zone include townhouse dwelling units, as are proposed for the subject lands. The zone standards applicable to the R2 zone for townhouse dwelling units are outlined by Table 6.2.2 of Zoning By-law 2018-65.

Site-specific exception 75 establishes a maximum yield of forty-two (42) townhouse units for the subject lands. This exception also establishes a minimum front yard setback of 41.4 metres off of Elgin Street, a minimum exterior side yard of 4.4 metres, a minimum interior side yard of 4.1 metres and a rear yard setback of 7.5 metres. The proposal maintains these yard requirements.

Additional Site Plan Considerations

Community Design Guidelines

The Town of The Blue Mountains Community Design Guidelines, 2012, are a design tool that provides guidance for design expectations for development review and are intended to facilitate high quality design within the Town. These guidelines are intended to be a flexible guide and are not written as policy, nor are they design to be a "checklist". Rather, these guidelines are to be used on a case-by-case basis, recognizing the different context and character of the various areas of the Town. Site Plan Control By-law 2010-57, as amended, requires that all development be consistent with the intent and direction of the Town's Community Design Guidelines. Section 4.2 and Section 4.5.2 are the most applicable sections of the Community Design Guidelines for the purpose of review of this application.

Section 4.2 generally guides the establishment of efficient, pedestrian oriented local street networks for new residential development. While the proposed development incorporates a private road, various elements are incorporated into the general design to achieve the intent of Section 4.2 of the Design Guidelines, such as internal sidewalks and connections to existing trail networks, sufficient internal landscaping, and efficient vehicle movements.

Section 4.5.2 provides general design guidelines for ground-oriented multiple residential dwelling units. These guidelines generally encourage visual interest along the streetscape by providing varying building elevations and architectural elements, minimizing the garage projection beyond the front façade of the dwelling, and utilizing shared driveways to minimize asphalt in the front yard. The proposed development generally maintains this intent as it provides a streetscape which is generally pedestrian oriented and incorporates adequate permeable landscape open space into the overall site design.

Future Condominium Application

The subject lands will be subject to a future condominium application in order to establish a standard condominium corporation on the subject lands. This application will be submitted and approved at the County level by the County of Grey. The ability for the project to undergo the Condominium Exemption process will be at the discretion of County Planning Staff. It is noted that the ownership, operation and maintenance of the on-site water service and sanitary sewer service will be the responsibility of the future Condominium Corporation.

Waste Management

Centralized waste collection is proposed for the development. The Municipal Operations Department has confirmed that this is acceptable.

Engineering

Although most of the on-site engineering matters have been addressed, additional geotechnical investigations are required to confirm off-site storm sewer works along Elgin Street and associated outlet improvements at Georgian Bay. The site will also require soil compression measures that should be applied during wetter months to be most effective. As such, it is Staff's recommendation that only conditional site plan approval be granted at this time. Final Site Plan Approval will only be considered at such a time that submitted drawings and plans are Approved for Construction by Development Engineering.

Securities

The applicant has provided an acceptable break-down of construction cost estimates related to on-site civil engineering works and landscaping works. In accordance with the accepted cost estimates, a total security of \$1,659,559.20 for the cost of all on-site civil engineering works, excluding works subject to a Building Permit, and all approved landscaping works shall be posted by the owner. Additional securities related to off-site works associated with sewer works along Elgin Street and other areas, shall be determined reflecting the final approved design of those works.

As additional securities related to off-site sewer works still need to be verified, staff are recommending that the need for securities for the off-site works also be included as a condition of site plan approval.

Parkland

Through the land exchange process, the developer agreed to construct and transfer the proposed Open Space Block (approximately 1,270sq.m in area) at the corner of Elgin Street North and Huron Street East to the Town for parkland purposes. This transfer is proposed as an over contribution of the parkland dedication required through the Site Plan Approval process. In its current configuration the Open Space Block would equate to a parkland dedication of approximately 13% whereas a maximum of 5% is required under the Planning Act. The Developer has confirmed their intention is to convey the land with the improvements in place as per the approved Landscape Plans.

Development Charges

Development charges will be required to be paid in accordance with the Municipal Development Charges By-law, as amended, prior to the issuance of Building Permits.

Communications Plan

In accordance with Council direction, the owner will be responsible to prepare a "Communications Plan", to the satisfaction of the Town. The Communications Plan is intended to provide appropriate notice to the Town and the surrounding residents prior to on-site works beginning and to provide an outline of anticipated construction timelines. The Communications Plan will require posting of appropriate on-site signage and mail/hand delivered paper notices to each residence within 120m of the subject lands prior to the initiation of on-site works. This Plan will be included as a requirement in the Site Plan Agreement.

F. Strategic Priorities

3. Community

We will protect and enhance the community feel and the character of the Town, while ensuring the responsible use of resources and restoration of nature.

4. Quality of Life

We will foster a high quality of life for full-time and part-time residents of all ages and stages, while welcoming visitors.

G. Environmental Impacts

Adverse environmental impacts are not anticipated as a result of this development.

H. Financial Impact

Adverse financial impacts to the Municipality are not anticipated by this development. The addition of forty-two (42) residential dwelling units will contribute to the municipal tax base.

I. In consultation with

Internal departments and external public agencies through the development review process.

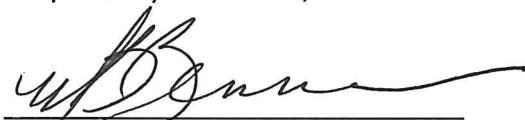
J. Public Engagement

The topic of this Staff Report has not been subject to a Public Meeting and/or a Public Information Centre as neither a Public Meeting nor a Public Information Centre are required for Site Plan Approval. It is, however, noted that public consultation was completed through a prescribed Public Meeting associated with the land exchange process for this development in May 2022. This Public Meeting introduced the notion of the proposed townhouse development and the requisite land exchange associated with that development.

K. Attached

1. Site Plan
2. Building Elevations
3. Landscape Plan

Respectfully submitted,



Michael Benner, MCIP RPP
Senior Planner

Reviewed by:

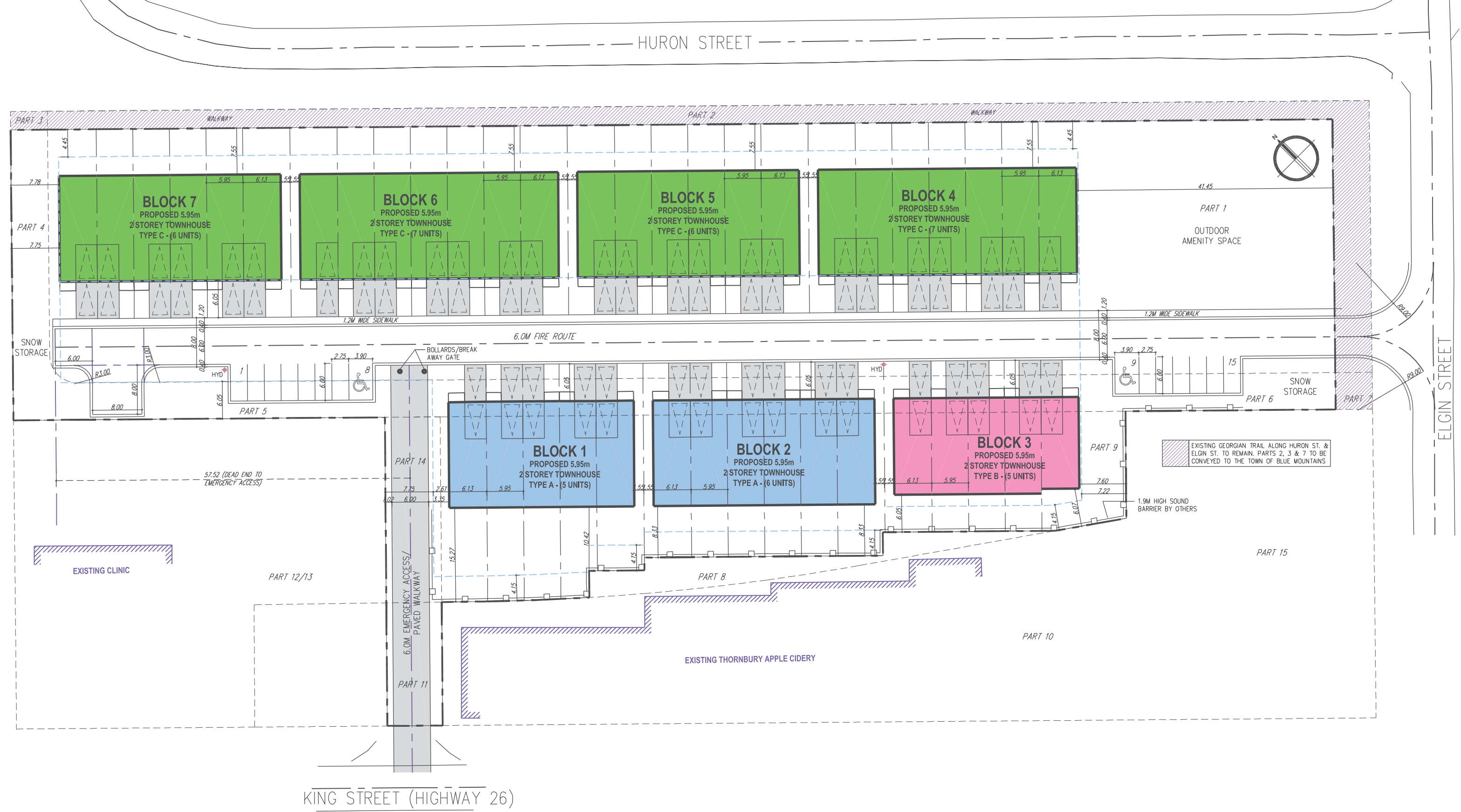


Shawn Postma, MCIP RPP
Manager of Community Planning

In accordance with Delegated Authority By-law 2012-76, as amended, I hereby grant conditional site plan approval pursuant to Section 41 of the Planning Act, subject to the conditions outlined in Staff Report PDS.23.015:



Adam Smith
Director of Planning and Development Services

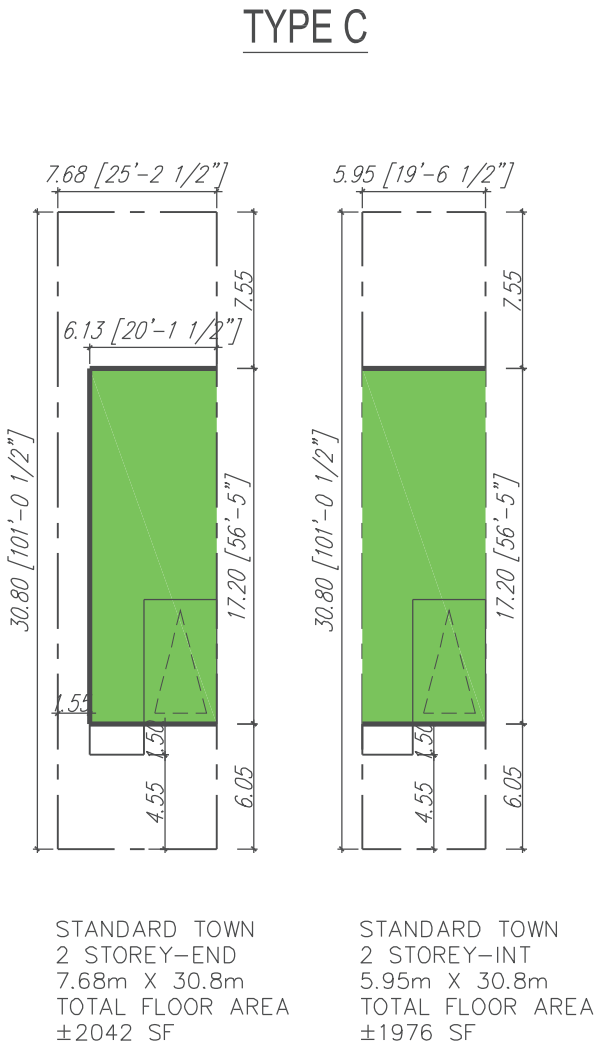
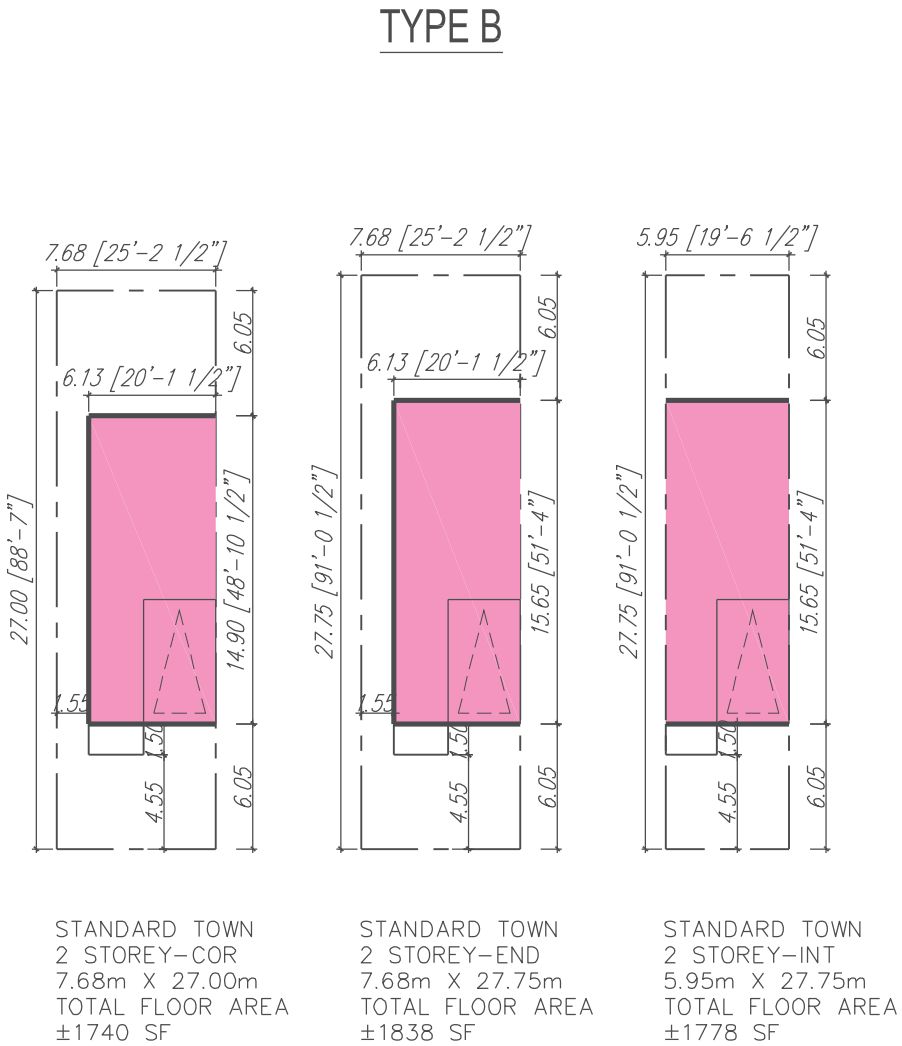
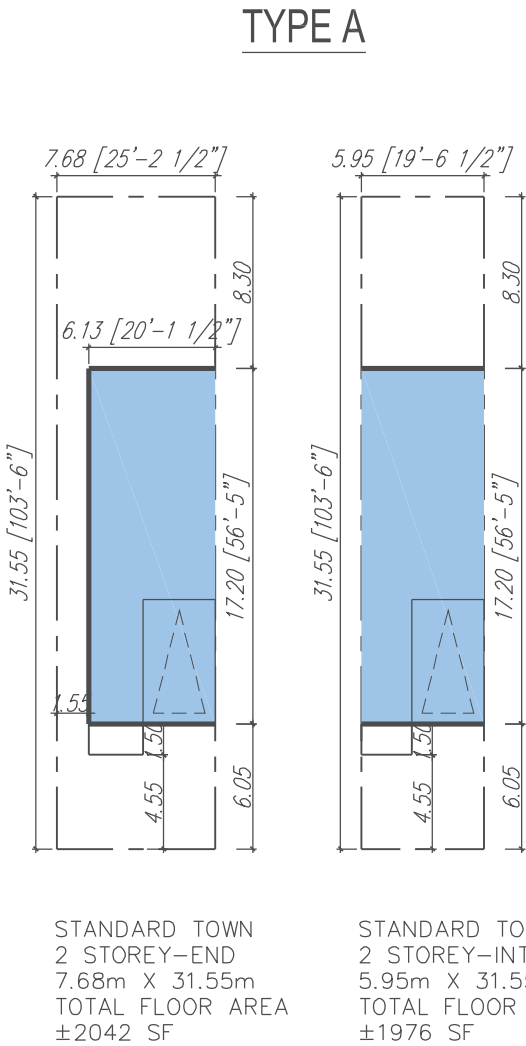


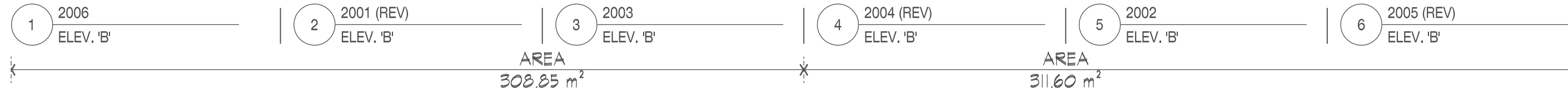
LAST UPDATED: 15 SEPTEMBER 2021 - KC

SITE STATISTICS

1. ZONING :	R2-75-h7	
2. SITE AREA :	13,206.50 SM	(1.32 HA) (3.26 ACRES)
3. TOTAL NUMBER OF UNITS :		
TYPE A (END):	7.68M X 31.55M =	4 UNITS
TYPE A (INT):	5.95M X 31.55M =	7 UNITS
TYPE B (COR):	7.68M X 27.00M =	1 UNIT
TYPE B (END):	7.68M X 27.75M =	1 UNIT
TYPE B (INT):	5.95M X 27.75M =	3 UNIT
TYPE C (END):	7.68M X 30.80M =	8 UNIT
TYPE C (INT):	5.95M X 30.80M =	18 UNIT
TOTAL NUMBER OF UNITS:	42 (7 BLOCKS)	
4. DENSITY :		
42 UNITS / 1.32 ha:	31.82 UNITS PER HECTARE	
42 UNITS / 3.26 Acres:	12.88 UNITS PER ACRE	
5. LOT COVERAGE :		
PROPOSED LOT COVERAGE:	33.68%	
TYPE A (END):	109.38 SM (1,177 SF) X 4 =	437.52 SM (4,708 SF)
TYPE A (INT):	106.02 SM (1,141 SF) X 7 =	742.14 SM (7,987 SF)
TYPE B (COR):	95.28 SM (1,025 SF) X 1 =	95.28 SM (1,025 SF)
TYPE B (END):	99.88 SM (1,075 SF) X 1 =	99.88 SM (1,075 SF)
TYPE B (INT):	96.79 SM (1,041 SF) X 3 =	290.37 SM (3,123 SF)
TYPE C (END):	109.38 SM (1,177 SF) X 8 =	875.04 SM (9,416 SF)
TYPE C (INT):	106.02 SM (1,141 SF) X 18 =	1,908.36 SM (20,538 SF)
TOTAL COVERAGE:	4,448.59 SM (47,872 SF)	
6. GROSS FLOOR AREA :		
TYPE A (END):	189.88 SM (2,042 SF) X 4 =	759.52 SM (8,168 SF)
TYPE A (INT):	183.68 SM (1,976 SF) X 7 =	1,285.76 SM (13,832 SF)
TYPE B (COR):	161.68 SM (1,740 SF) X 1 =	161.68 SM (1,740 SF)
TYPE B (END):	170.86 SM (1,838 SF) X 1 =	170.86 SM (1,838 SF)
TYPE B (INT):	165.24 SM (1,778 SF) X 3 =	495.72 SM (5,334 SF)
TYPE C (END):	189.88 SM (2,042 SF) X 8 =	1,519.04 SM (16,336 SF)
TYPE C (INT):	183.68 SM (1,976 SF) X 18 =	3,306.24 SM (35,568 SF)
TOTAL GFA:	7,698.82 SM (82,816 SF)	
7. PARKING :		
RESIDENT PARKING PROVIDED:	= 84 SPACES	
VISITOR PARKING:		
REQUIRED	= 11 SPACES (0.25 / UNIT)	
PROVIDED	= 15 SPACES (0.35 / UNIT)	
TOTAL PARKING PROVIDED:	84 + 15 = 99 SPACES	

TYPICAL UNIT





FRONT ELEVATION 'B'
BLOCK OF 6



REAR ELEVATION 'B'
BLOCK OF 6



REAR ELEVATION 'B' - UPGRADE
BLOCK OF 6 - FACING HURON ST.



FRONT ELEVATION 'A'
BLOCK OF 6



REAR ELEVATION 'A'
BLOCK OF 6



REAR ELEVATION 'A' - UPGRADE
BLOCK OF 6 - FACING HURON ST.

LEGEND

---	PROPERTY BOUNDARY		CONCRETE WALKWAY
---	LOT BOUNDARY		BENCH
○ SAN MH	EXISTING MANHOLE	○	DECIDUOUS TREE
○ SIGV	EXISTING SIGN	○	CONIFEROUS TREE
○ HP	EXISTING HYDRO POLE	○	DECIDUOUS SHRUB
○ LS	EXISTING LIGHT STANDARD	○	SHRUB GROUPING
◆ HYD & WV	FIRE HYDRANT - SEE ENG. DWGS	○	SPECIES
● SAN MH	MANHOLE - SEE ENG. DWGS	○	QUANTITY
● LS	LIGHT STANDARD - SEE ENG. DWGS	○	
●	BOLLARD LIGHT - SEE ENG. DWGS	○	
---	UNDERGROUND SERVICES - SEE ENG. DWGS	○	
---	GRANULAR TRAIL	○	

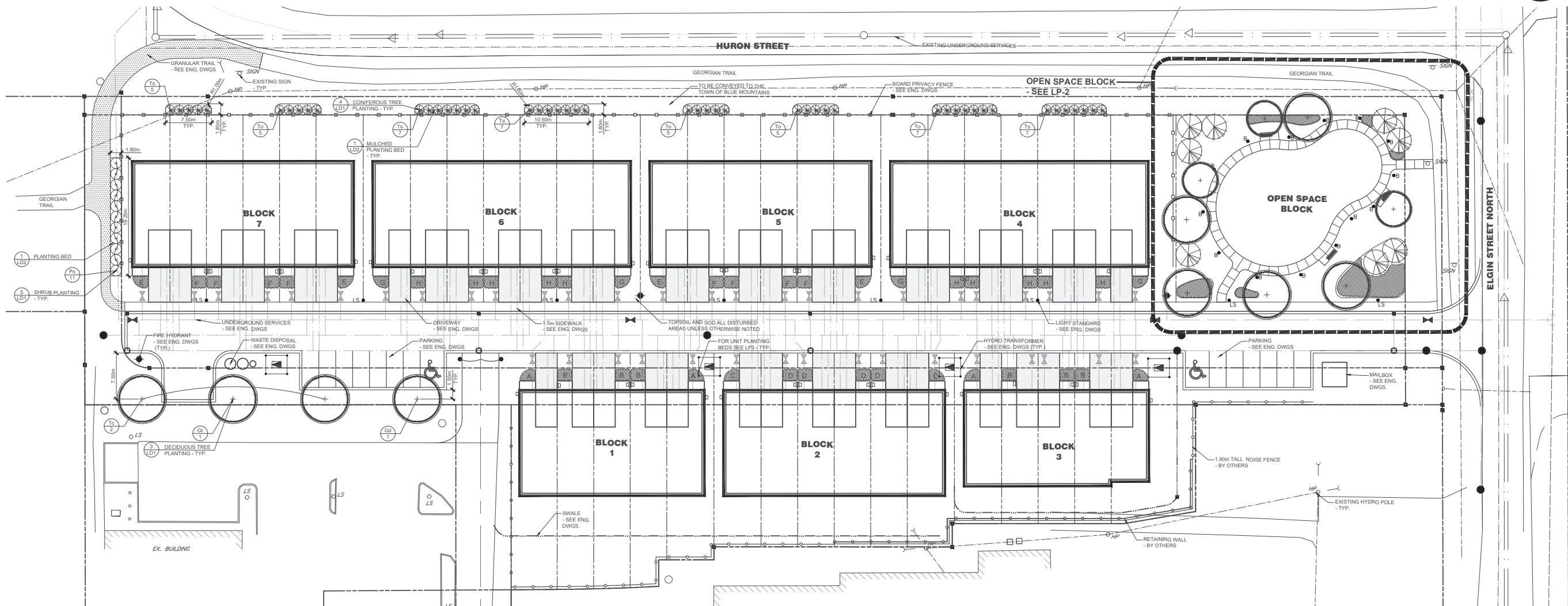
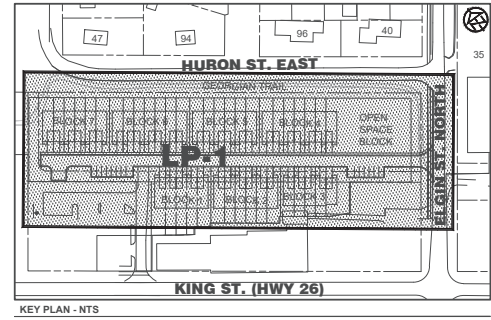
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING	QTY
Deciduous Trees						
Gd	Gymnocladus dioica	Kentucky Coffee Tree	50mm cal.	W.B.		1
Gt	Gleditsia triacanthos var. inermis	Honeylocust	50mm cal.	W.B.		1
Tc	Tilia cordata 'Greenspire'	Greenspire Linden	50mm cal.	W.B.		2
Coniferous Trees						
To	Thuja occidentalis 'Emerald'	Emerald Cedar	200 cm	W.B.	1.5m o.c.	48
Deciduous Shrubs						
Po	Physocarpus opulifolius	Common Ninebark	40 cm	W.B.	1.75m o.c.	11

GENERAL NOTES

1.0 LAYOUT & PLANT SUPPLY

- DEPICTED ON THIS PLAN ARE THE SPECIES AND THE APPROXIMATE LOCATION OF THE TREES. THE EXACT LOCATION OF THE TREES WILL BE STAKED ON SITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
 - ALL PLANTS SHALL BE SUPPLIED AS SPECIFIED IN THE 'PLANT LIST'. SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
 - CONTRACTOR IS RESPONSIBLE FOR ALL SERVICE AND UTILITY LOCATES.
 - ACTUAL LAYOUT OF BOULEVARD TREES SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE OF OFFSETS:
- | | |
|---|-------|
| TABLE OF OFFSETS | |
| THE FOLLOWING MINIMUM CLEARANCES FOR TREES SHALL APPLY: | |
| FIRE HYDRANTS | 3.0m |
| DRIVEWAYS | 1.5m |
| NEIGHBOURHOOD MAILBOXES | 3.0m |
| HYDRO TRANSFORMERS | 3.0m |
| BELL OR CABLE PEDESTALS | 1.0m |
| STREETLIGHT POLES | 5.0m |
| UNDERGROUND SERVICES | 1.0m |
| FACE OF ALL WARNING SIGNS | 18.0m |
- WHEN MINIMUM DISTANCES NOTED IN THE 'TABLE OF OFFSETS' CANNOT BE ACHIEVED, STREET TREES SHALL BE PLANTED IN AN ALTERNATIVE LOCATION OR STIPULATED BY THE LANDSCAPE ARCHITECT.
 - TREE PITS OR PLANTING BEDS LOCATED WITHIN 1 METRE OF UNDERGROUND UTILITIES ARE TO BE HAND DUG.
 - FOR PLANTING DETAILS, MATERIALS, AND NOTES, SEE DRAWING LD-1 AND LD-2.



CONTRACT DRAWINGS

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE COMMENCING WORK. DRAWINGS ARE NOT TO BE SCALED.

ENVISION-TATHAM CLAIMS COPYRIGHT TO THIS DOCUMENT WHICH MAY NOT BE USED FOR ANY PURPOSE OTHER THAN THAT PROVIDED IN THE CONTRACT BETWEEN THE OWNER/CLIENT AND THE LANDSCAPE ARCHITECT WITHOUT THE EXPRESS CONSENT OF ENVISION-TATHAM.

NOTES

- BASEPLAN PREPARED BY TATHAM ENGINEERING LIMITED (2021).
- ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.

NO.	REVISIONS	DATE	INITIAL
3	SECOND LANDSCAPE SUBMISSION	AUG. 31/22	AB
2	REVISED FENCING AND OPEN SPACE BLOCK	AUG. 17/22	AB
1	FIRST LANDSCAPE SUBMISSION	OCT. 15/21	AB

APPROVED



CIDERY TOWNS
TOWN OF THE BLUE MOUNTAINS

LANDSCAPE PLAN



SCALE: 1:300

DESIGN: AB

DRAWN: GEC

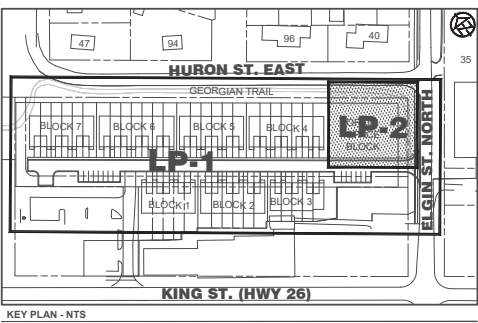
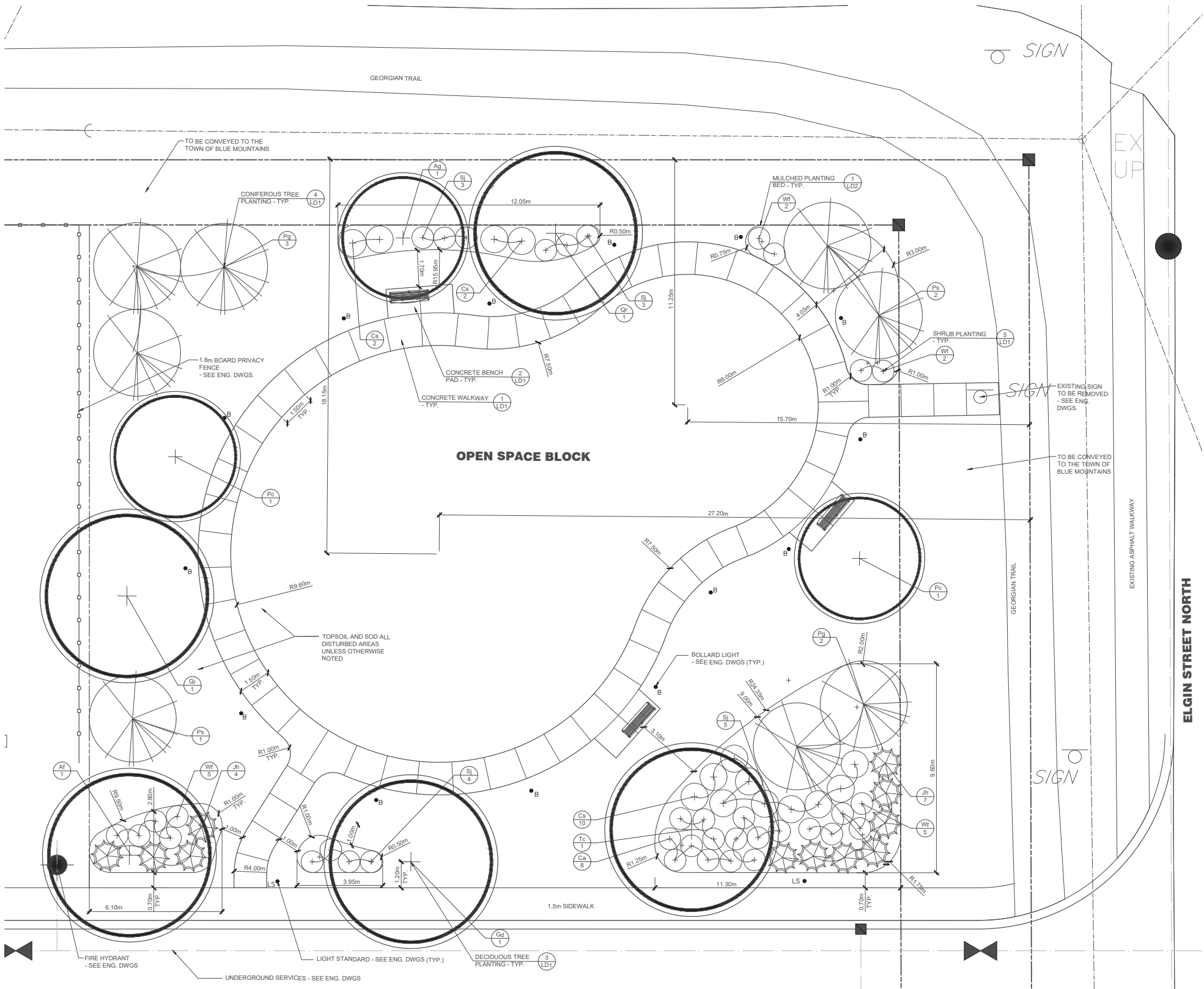
CHECKED: AB

DATE: OCTOBER 7, 2021

JOB NO. ET121019-1

DWG. LP-1

115 Sandford Fleming Drive,
Suite 200, Collingwood,
ON L9Y 5A8
Tel. 705.445.0422
inquiry@envision-tatham.com



LEGEND	
	PROPERTY BOUNDARY
	EXISTING LIGHT STANDARD
	FIRE HYDRANT - SEE ENG. DWGS
	LIGHT STANDARD - SEE ENG. DWGS
	BOLLARD LIGHT - SEE ENG. DWGS
	UNDERGROUND SERVICES - SEE ENG. DRAWINGS
	CONCRETE WALKWAY
	BENCH
	DECIDUOUS TREE
	CONIFEROUS TREE
	DECIDUOUS SHRUBS
	CONIFEROUS SHRUBS
	SPECIES
	QUANTITY

PLANT LIST - AMENITY SPACE						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING	QTY
Deciduous Trees						
Al	Acer x freemanii 'Jefferson'	Autumn Blaze Maple	50mm cal.	W.B.		1
Ag	Amelanchier x grandiflora 'Ballarina'	Ballarina Serviceberry	50mm cal.	W.B.		1
Pc	Pyrus calleryana 'Chanticleer'	Chanticleer Ornamental Pear	50mm cal.	W.B.		2
Gd	Gymnocladus dioica	Kentucky Coffee Tree	50mm cal.	W.B.		1
Qr	Quercus rubra	Red Oak	50mm cal.	W.B.		2
Tc	Tilia cordata 'Greenspire'	Greenspire Linden	50mm cal.	W.B.		1
TOTAL DECIDUOUS TREES						8
Coniferous Trees						
Pg	Picea glauca	White Spruce	200 cm	W.B.		5
Ps	Pinus strobus	White Pine	200 cm	W.B.		3
TOTAL CONIFEROUS TREES						8
Deciduous Shrubs						
Ca	Clethra alnifolia 'Hummingbird'	Summersweet	3 gal.		1.0m o.c.	8
Cs	Cornus sericea 'Arctic Fire'	Red Osier Dogwood	3 gal.		1.25m o.c.	14
Sj	Spiraea japonica 'Freibellii'	Freibellii Spirea	3 gal.		1.0m o.c.	15
Wf	Weigela florida 'Bristol Snowflake'	Bristol Snowflake Weigela	3 gal.		1.0m o.c.	14
Coniferous Shrubs						
Jh	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	3 gal.		1.5m o.c.	11
TOTAL SHRUBS						62

GENERAL NOTES

1.0 LAYOUT

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETAILED LAYOUT OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
- THE CONSULTANT SHALL BE NOTIFIED 24 HOURS IN ADVANCE OF ANY LAYOUT WORK AND SHALL CHECK THE SAME IF SO DESIRED. CHECKING OF LAYOUT OR FAILURE TO DO SO ON THE PART OF THE CONSULTANT IN NO WAY RELIEVES THE CONTRACTOR OF FULL RESPONSIBILITY FOR CONSTRUCTION TO THE PROPER LOCATION, ALIGNMENT, AND GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REINSTATEMENT OF DISTURBED SURVEY BARS AND LAYOUT STAKES.
- FOR LAYOUT AND PLANT SUPPLY REQUIREMENTS REFER TO GENERAL NOTES ON DRAWING LP-1.
- FOR PLANTING NOTES AND DETAILS SEE LD-1 AND LD-2.

CONTRACT DRAWINGS

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE COMMENCING WORK. DRAWINGS ARE NOT TO BE SCALED.

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NOTES

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- ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.

NO.	REVISIONS	DATE	INITIAL
3	SECOND LANDSCAPE SUBMISSION	AUG. 31/22	AB
2	REVISED FENCING AND OPEN SPACE BLOCK	AUG. 17/22	AB
1	FIRST LANDSCAPE SUBMISSION	OCT. 15/21	AB

APPROVED



CIDERY TOWNS
TOWN OF THE BLUE MOUNTAINS

LANDSCAPE PLAN

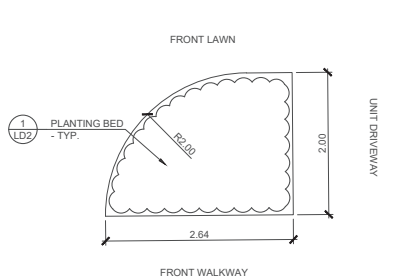


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DRAWN: GEC
CHECKED: AB
DATE: OCTOBER 7, 2021

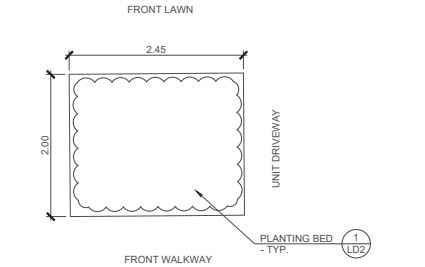
JOB NO. ET121019-1

DWG. **LP-2**

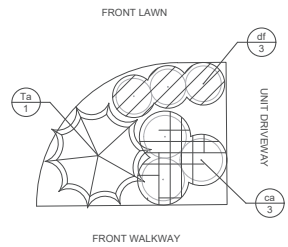
115 Sandford Fleming Drive,
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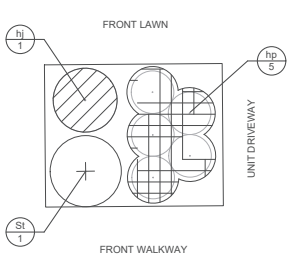
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PLAN - A, C, E, G 1:50



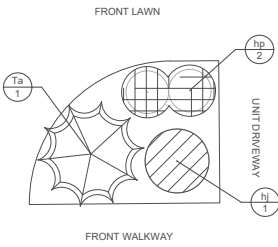
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LP3 PLANTING BED LAYOUT
PLAN - B, D, F, H 1:50



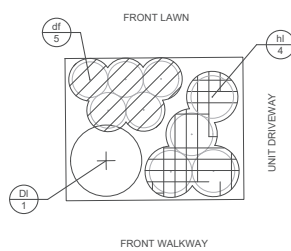
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LP3 PLANTING BED PLAN - A 1:50



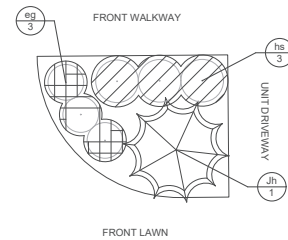
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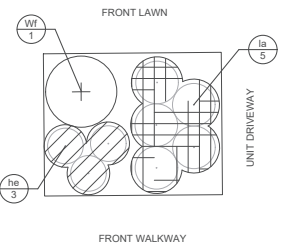
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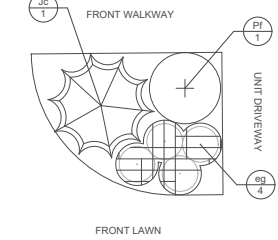
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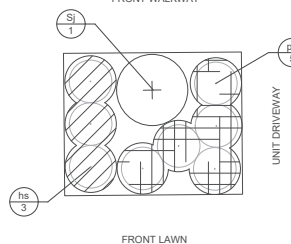
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LP3 PLANTING BED PLAN - E 1:50



8
LP3 PLANTING BED PLAN - F 1:50



9
LP3 PLANTING BED PLAN - G 1:50



10
LP3 PLANTING BED PLAN - H 1:50

LEGEND	
	DECIDUOUS SHRUBS
	CONIFEROUS SHRUBS
	PERENNIALS & GROUNDCOVERS
	SPECIES
	QUANTITY

PLANT LIST - FOUNDATION PLANTING						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING	QTY
Deciduous Shrubs						
DI	Diervilla lonicera	Bush Honeysuckle			3 gal.	1.0m o.c.
PI	Potentilla fruticosa 'Primrose Beauty'	Primrose Beauty Cinquefoil			3 gal.	1.0m o.c.
SJ	Spiraea japonica 'Froebelii'	Froebeli Spirea			3 gal.	1.0m o.c.
SI	Spiraea trilobata	Dwarf Vanhouttei Spirea			3 gal.	1.0m o.c.
WF	Weigela florida 'Bristol Snowflake'	Bristol Snowflake Weigela			3 gal.	1.0m o.c.
TOTAL SHRUBS						32
Coniferous Shrubs						
Jc	Juniperus chinensis sargentii 'Viridis'	Green Sargent Juniper			3 gal.	1.5m o.c.
Jh	Juniperus horizontalis 'Wilsons'	Blue Rug Juniper			3 gal.	1.5m o.c.
Ta	Taxus cuspidata 'Nana'	Dwarf Japanese Yew			3 gal.	1.5m o.c.
TOTAL SHRUBS						14
Perennials and Grasses						
ca	Carex appalachica	Appalachian Sedge			1 gal.	0.6m o.c.
df	Dicentra formosa 'Luxuriant'	Fern Leaf Bleeding Heart			1 gal.	0.5m o.c.
eg	Echinacea x 'Glowing Dream'	Glowing Dream Coneflower			1 gal.	0.5m o.c.
he	Heimerocallis 'Entrapment'	Daylily			1 gal.	0.5m o.c.
hj	Hosta 'June'	Hosta			1 gal.	1.0m o.c.
hl	Hosta 'Loyalist'	Hosta			1 gal.	0.6m o.c.
hp	Heucherella x 'Pink Fizz'	Foamy Bells			1 gal.	0.6m o.c.
hs	Helictotrichon sempervirens	Blue Oat Grass			1 gal.	0.6m o.c.
la	Lavandula angustifolia 'Hidcote Blue'	English Lavender			1 gal.	0.6m o.c.
pa	Perovskia atriplicifolia 'Lacey Blue'	Lacey Blue Sage			1 gal.	0.6m o.c.
TOTAL PERENNIALS						286

GENERAL NOTES

1. PLANTING DESIGN IS TO BE MIRRORED WHEN THE UNITS DRIVEWAY OCCURS OPPOSITE THE SIDE SHOWN.
2. FOR LAYOUT AND PLANT SUPPLY REQUIREMENTS REFER TO GENERAL NOTES ON DRAWING LP-1.
3. FOR PLANTING NOTES AND DETAILS SEE LD-1 AND LD-2.

CONTRACT DRAWINGS

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- NOTES:
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 2. ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.

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APPROVED



CIDERY TOWNS
TOWN OF THE BLUE MOUNTAINS

PLANTING BED PLANS



115 Sandford Fleming Drive,
Suite 200, Collingwood,
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Tel. 705.445.0422
inquiry@envision-tatham.com

SCALE: AS SHOWN

DESIGN: AB

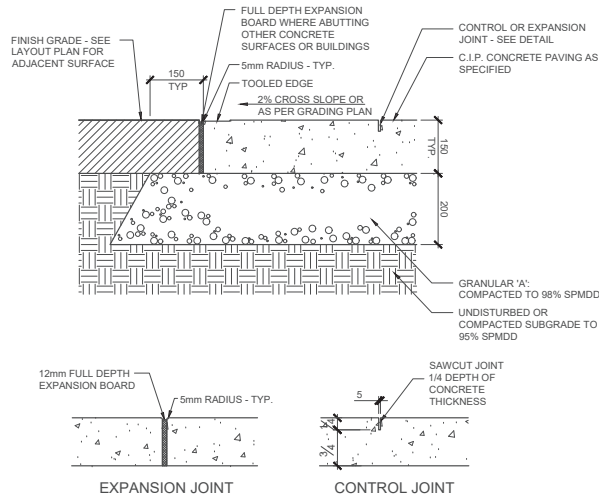
DRAWN: GEC

CHECKED: AB

DATE: OCTOBER 7, 2021

JOB NO. ET121019-1

DWG. LP-3

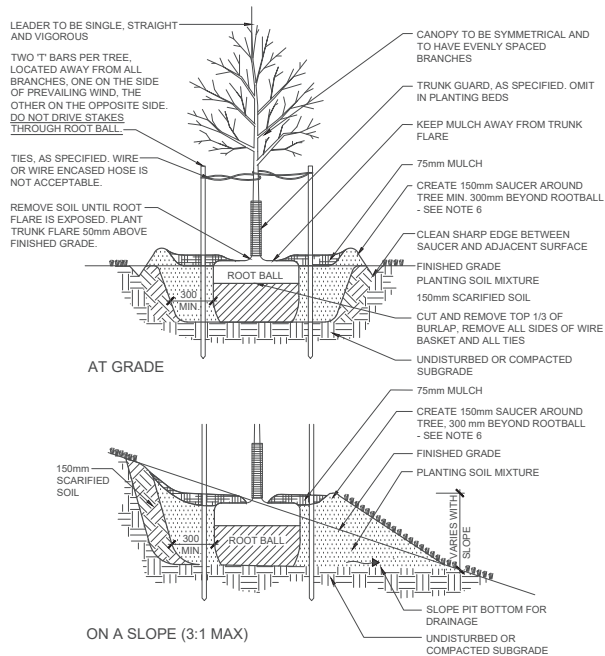


NOTES

- CONCRETE WALKWAYS SHALL BE IN ACCORDANCE WITH OPSS MUNI 351, UNLESS OTHERWISE NOTED.
- GRANULAR BASE SHALL BE GRANULAR 'A' IN ACCORDANCE WITH OPSS MUNI 314 AND OPSS MUNI 1010.
- CONCRETE TO BE 30MPa COMPRESSIVE STRENGTH, C-2 EXPOSURE AT 28 DAYS WITH 7% +/- 1.5% AIR ENTRAINMENT, MEASURED AT POINT OF PLACEMENT IN ACCORDANCE WITH CSA-A23.1.
- FINISH: LIGHT BROOM FINISH, PERPENDICULAR TO THE GENERAL DIRECTION OF PEDESTRIAN TRAVEL.
- EXPANSION JOINTS: 12mm FULL DEPTH EXPANSION BOARD WITH JOINT EDGES TROWELED FLAT TO MATCH PANEL GRADE IN ACCORDANCE WITH THE JOINT DETAIL. RAISED TOOLED JOINT EDGES WILL NOT BE ACCEPTED. EXPANSION JOINTS TO BE SPACED AS PER THE LANDSCAPE PLANS.
- EXPANSION JOINTS SHALL ALSO BE PROVIDED WHERE CONCRETE ABUTS ADJACENT CONCRETE SURFACES, CURBS AND BUILDING FOUNDATIONS.
- CONTROL JOINTS: SAW CUT TO 1/4 DEPTH OF SLAB IN ACCORDANCE WITH THE JOINT DETAIL AND SPACED AS PER THE LANDSCAPE PLANS. ALL CONTROL AND EXPANSION JOINTS SHALL BE MARKED ON FORM WORK FOR APPROVAL BY CONSULTANT PRIOR TO POURING CONCRETE OR SAW-CUTTING.
- SAW CUT EXPANSION AND CONTROL JOINTS SHALL BE BY WET DIAMOND BLADE, COMMENCING 8 TO 24 HOURS AFTER CONCRETE PLACEMENT, AS SOON AS THE CONCRETE SURFACE HAS HARDENED SUFFICIENTLY TO RESIST DISLODGING AGGREGATE WHILE CUTTING.
- SLAB EDGES: OUTSIDE EDGES OF CONCRETE WALKWAY SHALL BE TOOLED.
- CONCRETE THICKNESS AT COMMERCIAL AND INDUSTRIAL DRIVEWAYS OR CROSSINGS SHALL BE INCREASED TO 200mm.
- TACTILE WALKING SURFACE INDICATORS (TWSI) SHALL BE IN ACCORDANCE WITH OPSD 310.039, UNLESS OTHERWISE SPECIFIED.

1 CONCRETE WALKWAY

1:10

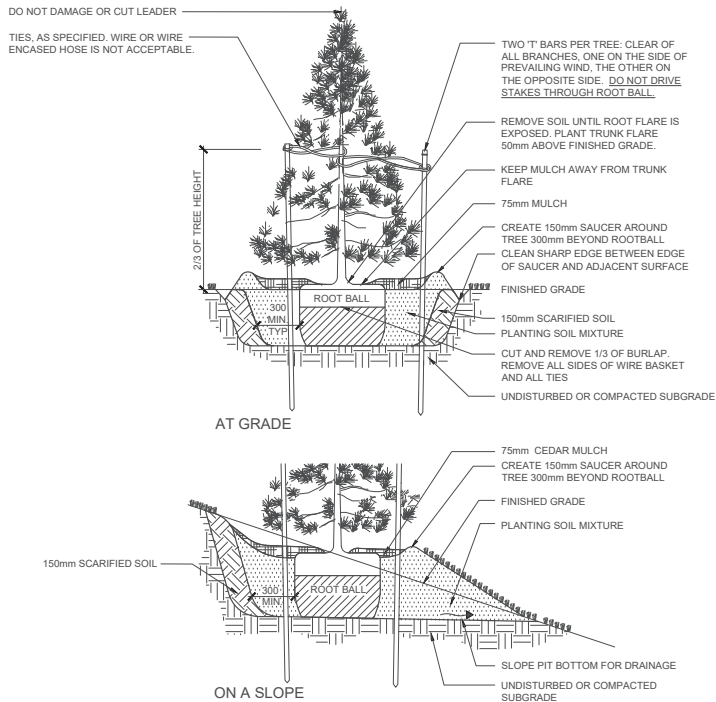


NOTES

- ALL MATERIALS ARE SPECIFIED IN THE GENERAL PLANTING NOTES.
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
- POSITION CROWN OF ROOT BALL 75mm ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
- CORRECTIVE PRUNE TO RETAIN NATURAL FORM OF TREE AS DIRECTED BY THE LANDSCAPE ARCHITECT, INCLUDING REMOVAL OF DEAD, BROKEN, OR CROSSING BRANCHES. DO NOT REMOVE MORE THAN 20% OF LIVE CANOPY.
- FOR TREES PLANTED WITHIN PLANTING OR SHRUB BEDS, DELETE SAUCER AROUND BASE OF TREE.
- EARTH SAUCER MAY BE OMITTED WHEN WATERING BAGS ARE INSTALLED. WATERING BAGS TO BE REMOVED AT CONCLUSION OF FIRST YEAR.
- NO TREE PITTS SHALL BE LEFT OPEN OVERNIGHT.
- STAKES AND TIES TO BE REMOVED ONE YEAR AFTER PLANTING.

3 DECIDUOUS TREE PLANTING

NTS

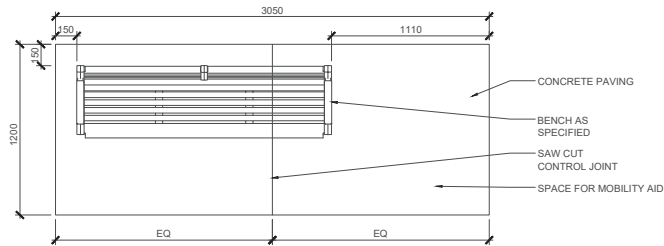


NOTES

- ALL MATERIALS ARE AS SPECIFIED IN THE GENERAL PLANTING NOTES.
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
- POSITION CROWN OF ROOT BALL 75mm ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
- CORRECTLY PRUNE TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT, INCLUDING REMOVAL OF DEAD OR BROKEN BRANCHES. DO NOT REMOVE MORE THAN 20% OF LIVE CANOPY. PRUNING TO BE UNDERTAKEN BY ISA CERTIFIED ARBORIST.
- FOR TREES PLANTED WITHIN PLANTING OR SHRUB BEDS, DELETE SAUCER AROUND BASE OF TREE.
- NO TREE PITTS SHALL BE LEFT OPEN OVERNIGHT.
- REMOVE STAKES AND TIES ONE YEAR AFTER PLANTING.

4 CONIFEROUS TREE PLANTING

NTS

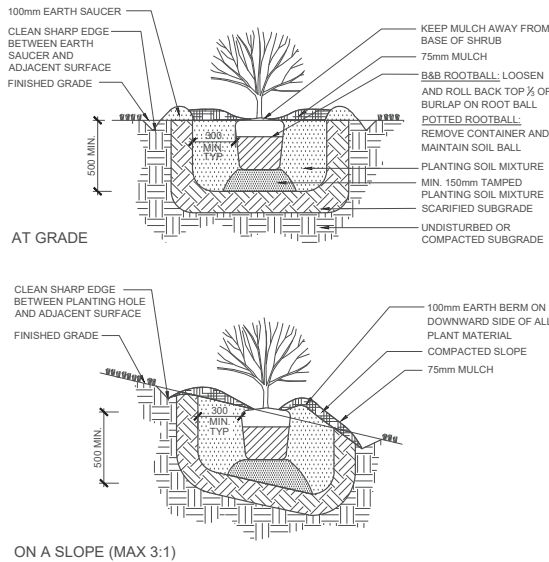


NOTES:

- CONCRETE PAVING SHALL BE AS PER DETAIL 1A-D-1 UNLESS OTHERWISE INDICATED.
- GRANULAR BASE SHALL BE GRANULAR A IN ACCORDANCE WITH OPSS MUNI 314 AND OPSS MUNI 1010.
- FINISH TO BE LIGHT BROOM FINISH, PARALLEL WITH DIRECTION OF ADJACENT WALKWAY OR TRAIL.
- CONTROL JOINTS: SAWCUT TO 1/4 SLAB DEPTH AND SPACE AS DETAILED.
- SLAB EDGES: OUTSIDE EDGES OF SLAB TO BE TOOLED.
- ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.

2 CONCRETE BENCH PAD

1:25



NOTES

- ALL MATERIALS ARE SPECIFIED IN THE GENERAL PLANTING NOTES.
- FOR SHRUBS PLANTED IN SHRUB BEDS, DELETE SAUCER AROUND BASE OF SHRUB.
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
- POSITION CROWN OF ROOT BALL 25mm ABOVE FINISH GRADE TO ALLOW FOR SETTLING.

5 SHRUB PLANTING

NTS

GENERAL NOTES

1.0 SITE FURNISHINGS

- THE FOLLOWING SITE FURNISHINGS SHALL BE SUPPLIED AND INSTALLED BY MAGLIN SITE FURNITURE INC. 1-800-716-5506 (CONTACT: SEAN MEALAND) OR APPROVED EQUAL:
BENCH
MODEL NO.: MBE-0720-00041
METAL FINISH: BLACK GLOSS
SLATS: IPE WOOD
FOOTING/ ATTACHMENT: SECURED TO CONCRETE PAVING, AS DETAILED, WITH STAINLESS STEEL TAP-CON FASTENERS.
- PACKAGE ALL PRODUCTS AND HANDLE CAREFULLY DURING SHIPMENT & INSTALLATION TO AVOID DAMAGING THE PRODUCTS AND FINISHES. DAMAGED PRODUCTS WILL BE REJECTED.
- OBTAIN SMOOTH UNIFORM GRADIENT AT INSTALLATION LOCATION.
- INSTALL ALL PRODUCTS TRUE, PLUMB, AND FIRMLY ANCHORED IN SPECIFIED LOCATIONS.
- ASSEMBLE AND INSTALL AS PER MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- EXISTING SURFACE MATERIALS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AFTER INSTALLATION AND ALL PACKAGING SHALL BE REMOVED FROM THE SITE.
- ALL FASTENERS AND ANCHORS USED TO SECURE FURNISHINGS SHALL BE STAINLESS STEEL.

2.0 PLANTING

- PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD (LATEST EDITION), PUBLISHED BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS, EXCEPT WHERE SPECIFIED OTHERWISE.
- ALL PLANTS SHALL BE SUPPLIED AS SPECIFIED IN THE 'PLANT LIST'. SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- MULCH TO BE SHREDDED CEDAR BARK FREE OF DYES AND CHEMICALS, OR APPROVED EQUAL.
- PLANTING SOIL MIXTURE SHALL BE 50% SCREENED TOPSOIL, 20% COARSE SAND, AND 30% COMPOST, AS SPECIFIED. CONTRACTOR SHALL PROVIDE SOURCE AND SAMPLE OF SOIL MIXTURE, AS SPECIFIED, FOR APPROVAL PRIOR TO COMMENCING WORK.
- TREE STAKES TO BE 40 X 40 X 5MM X 1800MM LONG HEAVY DUTY GAUGE T-BARS, DRIVEN SECURELY INTO THE SUB-GRADE.
- TIES SHALL BE 50MM WIDE BURLAP STRIPS LOOPED IN A LOOSE FIGURE 8 OR ANOTHER WOVEN BIODEGRADABLE TIE SYSTEM THAT REMAINS FLEXIBLE DURING WINTER MONTHS.
- TRUNK PROTECTION TO BE 100MM DIA. HDPE PIPE, 500MM LONG OR TO LOWEST BRANCH, EXCEPT IN SWM PONDS AND NATURALIZATION AREAS WHERE IT IS TO BE WHITE SPIRAL PLASTIC TREE GUARD.
- STAKES AND TIES SHALL BE REMOVED 1 YEAR AFTER PLANTING.
- TRUNK PROTECTION SHALL BE REMOVED AT COMPLETION OF WARRANTY PERIOD.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND OFFSITE DISPOSAL OF EXCAVATED MATERIAL FROM PLANTING BED CONSTRUCTION AND TREE/SHRUB PIT EXCAVATION.

3.0 SODDING

- SODDING SHALL BE IN ACCORDANCE WITH OPSS MUNI 803, UNLESS OTHERWISE SPECIFIED.
- SOD SHALL BE NUMBER ONE GRADE TURFGRASS NURSERY SOD WITH A KENTUCKY BLUEGRASS SOD CLASSIFICATION.
- SOD ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED.
- SOD SHALL BE GROWN AND SOLD IN ACCORDANCE WITH THE 'SPECIFICATIONS FOR TURFGRASS SOD FOR ONTARIO' PUBLISHED BY THE NURSERY SOD GROWERS ASSOCIATION (N.S.G.A.) AND SHALL BE ESPECIALLY SOWN AND CULTIVATED IN NURSERY FIELDS AS TURFGRASS CROP.
- SODDING MAY BE PERFORMED AT ANY TIME BETWEEN APRIL 30 AND NOVEMBER 1. IF SOD IS LAID FOLLOWING NOVEMBER 1, ACCEPTANCE WILL BE DEFERRED UNTIL ONE MONTH AFTER START OF GROWING SEASON, PROVIDED ACCEPTANCE CONDITIONS ARE FULFILLED.
- LAY SOD WITHIN 36 HOURS OF BEING LIFTED OR WITHIN 24 HOURS OF BEING LIFTED IF AIR TEMPERATURE EXCEEDS 20°.
- ALL SODDING SHALL OCCUR WITHIN A WEEK OF TOPSOIL PLACEMENT AND FINISHED GRADING. THE CONTRACTOR WILL BE RESPONSIBLE FOR WEED ERADICATION IF THEY FAIL TO PLACE THE SPECIFIED SOD WITHIN THIS PERIOD.
- DURING WET WEATHER ALLOW SOD TO DRY SUFFICIENTLY TO PREVENT TEARING DURING LIFTING AND HANDLING.
- DURING DRY WEATHER, PROTECT SOD FROM DRYING OUT AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT DROPPING OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
- ENSURE FINISHED SOD SURFACE IS FLUSH WITH ADJOINING GRASS AREAS, PAVEMENT OR TOP SURFACE OF CURBS.
- ON SLOPES, LAY SOD SECTIONS LONGITUDINALLY ALONG CONTOURS AND START LAYING SOD AT THE BOTTOM OF THE SLOPE.
- PEG SOD ON SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL, 100MM BELOW TOP EDGE AT 200MM ON CENTER FOR FIRST SOD SECTIONS ALONG CONTOURS OF SLOPES AND NOT LESS THAN 4 PEGS PER SQUARE METER WITH PEGS DRIVEN TO 50MM ABOVE SOIL SURFACE OF SOD SECTIONS.
- SOD STAKING SHALL BE WITH WOODEN PEGS AT 17 X 8 X 200MM, OR APPROVED EQUAL.
- WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 100MM OF TOPSOIL.
- PROVIDE CLOSE CONTACT BETWEEN THE SOD AND THE UNDERLYING ROOT ZONE MIX BY ROLLING WITH A LIGHT ROLLER. IMPERFECTIONS IN THE SURFACE LEVEL SHOULD BE CORRECTED PRIOR TO THE LAYING OF THE SOD AND NOT BY ROLLING WITH A HEAVY ROLLER. USE OF HEAVY ROLLER TO CORRECT GRADE IRREGULARITIES IS NOT PERMITTED.
- MAINTENANCE DURING THE ESTABLISHMENT PERIOD SHALL CONSIST OF BUT NOT BE LIMITED TO WATERING IN SUFFICIENT QUANTITIES AND AT REQUIRED FREQUENCY TO MAINTAIN CONTINUOUS SUBSOIL MOISTURE IMMEDIATELY UNDER SOD TO A DEPTH OF 75-100MM, ROLLING TO REMOVE MINOR DEPRESSIONS OR IRREGULARITIES, WEED CONTROL, TO ENSURE THAT NON-SPECIFIED VEGETATION SHALL NOT EXCEED 5%, AND MOWING AT LEAST TWICE TO MAINTAIN GRASS AT 40MM HEIGHT (AFTER GRASS REACHED 60MM HEIGHT).
- REMOVE WOODEN SOD PEGS AFTER SOD HAS ESTABLISHED WITH APPROVAL OF THE CONSULTANT.

CONTRACT DRAWINGS

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NOTES:

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1	FIRST LANDSCAPE SUBMISSION	OCT. 15/21	AB



CIDERY TOWNS
TOWN OF THE BLUE MOUNTAINS

LANDSCAPE DETAILS

ENVISIONTATHAM

115 Sandford Fleming Drive,
Suite 200, Collingwood,
ON L9Y 5A6
Tel. 705.445.0422
inquiry@envision-tatham.com

SCALE: AS SHOWN

DESIGN: AB

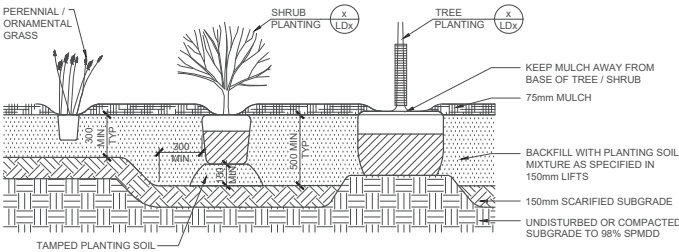
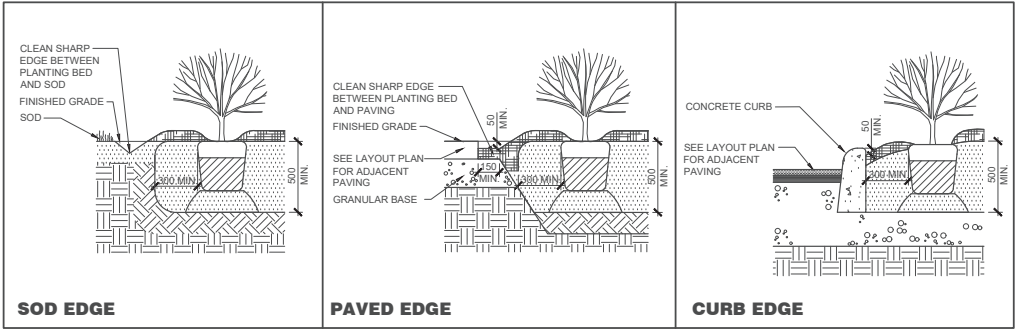
DRAWN: GEC

CHECKED: AB

DATE: OCTOBER 7, 2021

JOB NO. ET121019-1

DWG. **LD-1**



- NOTES**
1. ALL MATERIALS ARE SPECIFIED IN THE GENERAL PLANTING NOTES.
 2. DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 3. ENSURE SOIL SETTLEMENT HAS OCCURRED PRIOR TO MULCHING.
 4. PLANTING SOIL DEPTH MAY BE 300mm (MIN.) UNDER PERENNIALS.
 5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND OFFSITE DISPOSAL OF EXCAVATED MATERIAL FROM PLANTING BED CONSTRUCTION.

1 LD2 PLANTING BED

NTS

CONTRACT DRAWINGS

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE COMMENCING WORK. DRAWINGS ARE NOT TO BE SCALED.

ENVISION-TATHAM CLAIMS COPYRIGHT TO THIS DOCUMENT WHICH MAY NOT BE USED FOR ANY PURPOSE OTHER THAN THAT PROVIDED IN THE CONTRACT BETWEEN THE OWNER/CLIENT AND THE LANDSCAPE ARCHITECT WITHOUT THE EXPRESS CONSENT OF ENVISION-TATHAM.

- NOTES**
1. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.

3	SECOND LANDSCAPE SUBMISSION	AUG. 31/22	AB
2	REVISED FENCING AND OPEN SPACE BLOCK	AUG. 17/22	AB
1	FIRST LANDSCAPE SUBMISSION	OCT. 15/21	AB
NO.	REVISIONS	DATE	INITIAL

APPROVED



**CIDERY TOWNS
TOWN OF THE BLUE MOUNTAINS**

LANDSCAPE DETAILS



115 Sandford Fleming Drive,
Suite 200, Collingwood,
ON L9Y 5A8
Tel. 705.445.0422
inquiry@envision-tatham.com

SCALE: AS SHOWN

DESIGN: AB

DRAWN: GEC

CHECKED: AB

DATE: OCTOBER 7, 2021

JOB NO. ET121019-1

DWG. **LD-2**