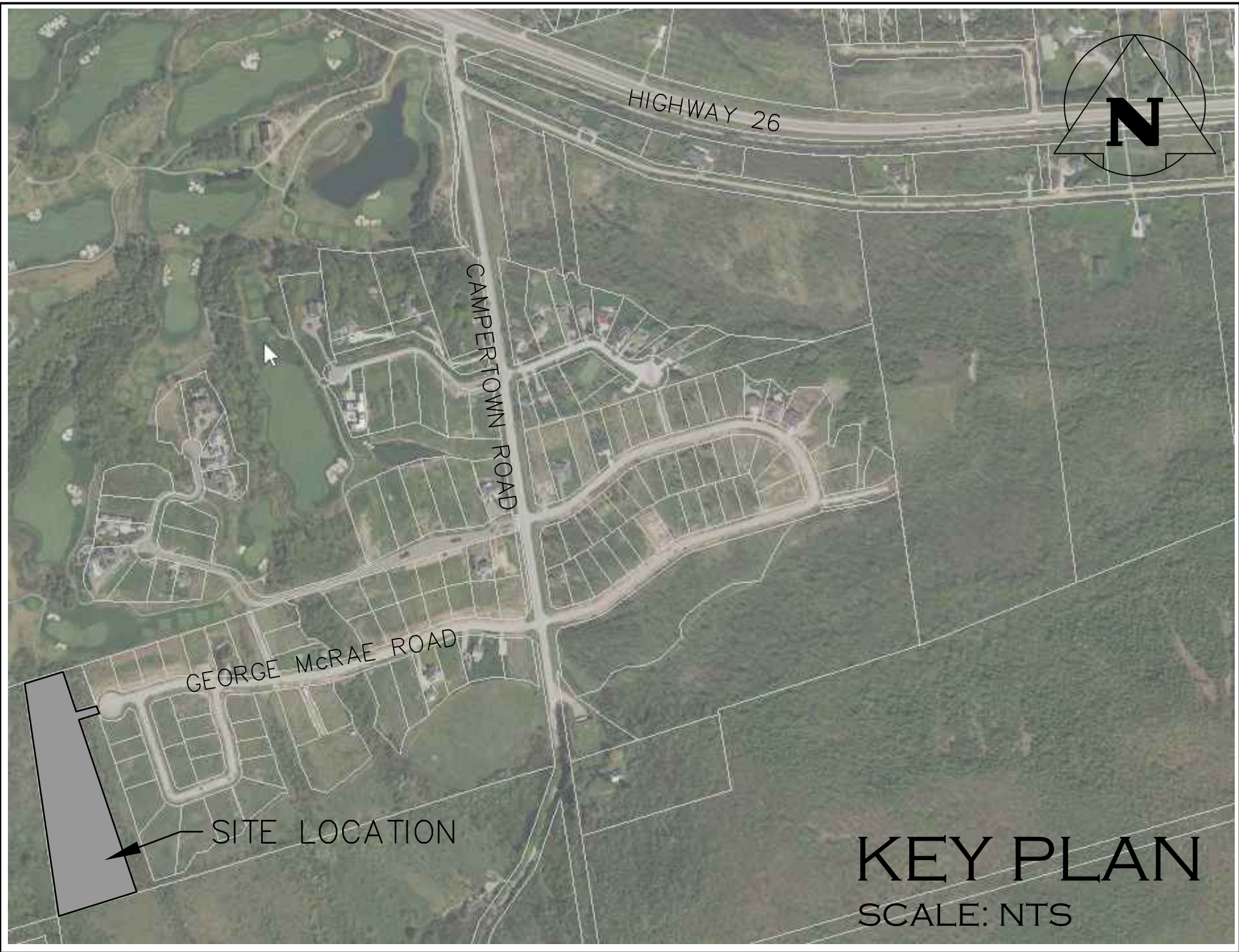


RIDGE ESTATES
BLOCK 38

TOWN OF THE
BLUE MOUNTAINS

COUNTY OF GREY



DRAWING

TITLE

DRAFT M-PLAN (PREPARED BY R-PE SURVEYING LTD.)

C101	GENERAL SITE SERVICING PLAN
C102	OVERALL SITE GRADING PLAN
C103.A	PLAN & PROFILE STREET 'A' (STA. 0+000 – 0+101.06)
C103.B	PLAN & PROFILE STREET 'B' (STA. 0+000 – 0+236.28)
C103.C	PLAN & PROFILE STREET 'C' & 6m SERVICING EASEMENT (STA. 0+000 – 0+155.45)
C104	STORM DRAINAGE PLAN
C105	SANITARY DRAINAGE PLAN
C106	WATER DISTRIBUTION PLAN
C107	EROSION AND SEDIMENT CONTROL PLAN
C108	CONSTRUCTION NOTES & STANDARD DETAILS
C109	COMPOSITE UTILITY PLAN
C110	PAVEMENT MARKING AND SIGNAGE PLAN
E001	ELECTRICAL LEGEND, DRAWING LIST & TYPICAL ROAD STANDARD
E100	SITE PLAN – PHOTOMETRIC
E101	SITE LIGHTING DETAILS
E110	SITE PLAN – ELECTRICAL
E111	SITE ELECTRICAL DETAILS
LP-1	LANDSCAPE PLAN STREETSCAPE
LP-2	LANDSCAPE PLAN BLOCK 32 PARKETTE
LD-1	LANDSCAPE DETAILS
LD-2	LANDSCAPE DETAILS
TMP-1	TREE MANAGEMENT PLAN

MUNICIPALITY

TOWN OF THE BLUE MOUNTAINS
32 MILL STREET
THORNBURY, ONTARIO, N0H 2P0

DEVELOPER

PRIMONT (PEAKS MEADOWS) INC.
9130 LESLIE STREET #301
RICHMOND HILL, ON L4B 0B9

DEVELOPER'S ENGINEER AND LANDSCAPE ARCHITECT



ADMIRAL BUILDING
1 FIRST STREET, SUITE 200
COLLINGWOOD, ON, L9Y 1A1
705-446-3510 T
705-446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

Town of Blue Mountains
Planning and Development Services
Accepted For Construction

AFC Drawings are only valid as part and upon execution of a
Development Agreement

4 Oct 2023
date

MASTER LEGEND

EXISTING FEATURES (EX.)

XXX.X	EX. CONTOUR
+XXX.XX	EX. GRADE
~~~~~	EX. TREELINE
=====	EX. WATERCOURSE
---	EX. DITCH
---XBM---	EX. WATERMAIN
---(W)---	EX. WATER SERVICE
---(F)---	EX. FIRE HYDRANT & VALVE
---(S)---	EX. SANITARY SEWER & MANHOLE
---(F)---	EX. SANITARY FORCEMAIN
---(S)---	EX. SANITARY SERVICE
---(S)---	EX. STORM SEWER & MANHOLE
---	EX. STORM CATCHBASIN
---	EX. STORM DOUBLE CATCHBASIN
---	EX. STORM CATCHBASIN MANHOLE
---	EX. STORM DOUBLE CATCHBASIN MANHOLE
---XGAS---	EX. GAS MAIN
---XB---	EX. BELL LINE
---	EX. BELL PEDESTAL
---	EX. CABLE TELEVISION PEDESTAL
---	EX. HYDRO POLE
---	EX. LIGHT STANDARD
---	EX. SIGN
---	EX. BUILDING
BM#	EX. BENCHMARK NUMBER & LOCATION
BH#	EX. BOREHOLE NUMBER & LOCATION

PROPOSED FEATURES (PR.)

---	PR. PROPERTY LIMITS
+XXX.XX	PR. ELEVATION
+XXX.XX	PR. ELEVATION (MATCH EX. ELEVATION)
---	PR. SWALE & SLOPE
---	PR. DITCH DRAINAGE
---	PR. WATERMAIN & VALVE
---	PR. WATER SERVICE
---	PR. FIRE HYDRANT & VALVE
---	PR. WATER VALVE CHAMBER
---	PR. WATER QUALITY TESTING STATION
---	PR. SANITARY SEWER & MANHOLE
---	PR. SANITARY FORCEMAIN
---	PR. SANITARY SERVICE
---	PR. SANITARY CATCHMENT
---	PR. STORM SEWER & MANHOLE
---	PR. CATCHBASIN
---	PR. DOUBLE CATCHBASIN
---	PR. CATCHBASIN MANHOLE
---	PR. DOUBLE CATCHBASIN MANHOLE
---	PR. STORM CATCHMENT
---	PR. CATCHMENT AREA ID
---	PR. POPULATION (2.3 p.p.u.)
---	PR. AREA (ha)
---	PR. STORM CATCHMENT
---	PR. CATCHMENT AREA ID
---	PR. RUNOFF COEFFICIENT
---	PR. DRAINAGE AREA (ha)
---	PR. CURB CUT
---	PR. CANADA POST COMMUNITY MAIL BOX
---	PR. TRANSFORMER
---	PR. STOP SIGN
---	PR. NAME SIGN
---	PR. NO PARKING SIGN
---	PR. FENCE
---	PR. BUILDING ENVELOPE
---	PR. LIGHT DUTY SILT FENCE
---	PR. HEAVY DUTY SILT FENCE
---	PR. STRAW BALE CHECK FLOW
---	PR. ROCK CHECK DAM
---	PR. SLOPE (3:1 MAX.)
---	PR. TREE PRESERVATION AREA
---	PR. TOPSOIL STOCKPILE LOCATION
---	PR. FLEXAMAT

PROJECT No.: 1019-5984  
ISSUED FOR SUBDIVISION AGREEMENT

# PLAN 16M—

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF GREY (No.16) AT _____ O'CLOCK ON THE _____ DAY OF _____, 2023 AND ENTERED IN PARCEL REGISTER(S) FOR PROPERTY IDENTIFIER(S) _____ 37308-0086 AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT No. _____

REPRESENTATIVE FOR LAND REGISTRAR  
THIS PLAN COMPRISES ALL OF P.I.N. 37308-0086.

## PLAN OF SUBDIVISION OF ALL OF BLOCK 38, PLAN 16M-24 TOWN OF THE BLUE MOUNTAINS COUNTY OF GREY

SCALE 1:500

R-PE SURVEYING LTD., O.L.S.

### METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

### NOTES

- DENOTES MONUMENT FOUND
- DENOTES MONUMENT SET
- PB DENOTES PLASTIC BAR
- IB DENOTES IRON BAR
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- ORP DENOTES OBSERVED REFERENCE POINT
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL1 DENOTES PLAN 16M-24
- PL2 DENOTES PLAN 16R-11712
- PL3 DENOTES PLAN 16R-10162
- (888) DENOTES J. C. MILNE, O.L.S.
- (ZUMO) DENOTES ZUBEK, EMO, PATTEN & THOMSEN LTD., O.L.S.
- (RPE) DENOTES R-PE SURVEYING LTD., O.L.S.
- (WIT) DENOTES WITNESS
- (NI) DENOTES NOT IDENTIFIED

DUE TO CONSTRUCTION ACTIVITIES, ALL SET MONUMENTS ARE PLASTIC BARS UNLESS OTHERWISE NOTED.

### INTEGRATION NOTE

BEARINGS ARE GRID, UTM, NAD83 (CSRS;CBN+6;2010.0), DERIVED FROM OBSERVED REFERENCE POINTS (A) AND (B) USING CANNET REAL TIME NETWORK STATION (RTN) No. PR580278925947 (NORTHING 4927419.99, EASTING 559821.55).

COORDINATES ARE UTM, ZONE 17, NAD83 (CSRS;CBN+6;2010.0), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT	NORTHING	EASTING
ORP (A)	4930858.47	547351.15
ORP (B)	4930737.24	547363.36

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999611.

### SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

- THE SURVEY WAS COMPLETED ON THE 29th DAY OF AUGUST 2022.

DATE AUGUST 2nd 2023

A. U. KUMARANAYAKE  
A. U. KUMARANAYAKE  
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER _____

### OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:

- LOTS 1 TO 31, BOTH INCLUSIVE AND BLOCKS 32 AND 33 HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.

PRIMONT (PEAK MEADOWS) INC.

DATED THE _____ DAY OF _____, 2023.

_____  
JOE MONTESANO  
AUTHORIZED SIGNING OFFICER  
I HAVE THE AUTHORITY TO BIND THE CORPORATION

### MUNICIPAL APPROVAL

42T-2018-13  
APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990

THIS _____ DAY OF _____ 2023

DIRECTOR OF PLANNING  
CORPORATION OF THE TOWN OF THE BLUE MOUNTAINS

**rpe** R-PE SURVEYING LTD.  
ONTARIO LAND SURVEYORS  
643 Chrislea Road, Suite 7  
Woodbridge, Ontario L4L 8A3  
Tel.(416)635-5000 Fax (416)635-5001  
Tel.(905)264-0881 Fax (905)264-2099  
Website: www.r-pe.ca  
DRAWN: A.K./T.C.  
JOB No. 21-431  
CHECKED: A.K.  
CAD FILE No. 21-431s01b

TOTAL AREA OF SUBDIVISION = 2.368 ha.

NOTE: FOR BLOCK 32 LANDSCAPING PLANS REFER TO DWG LP-2.

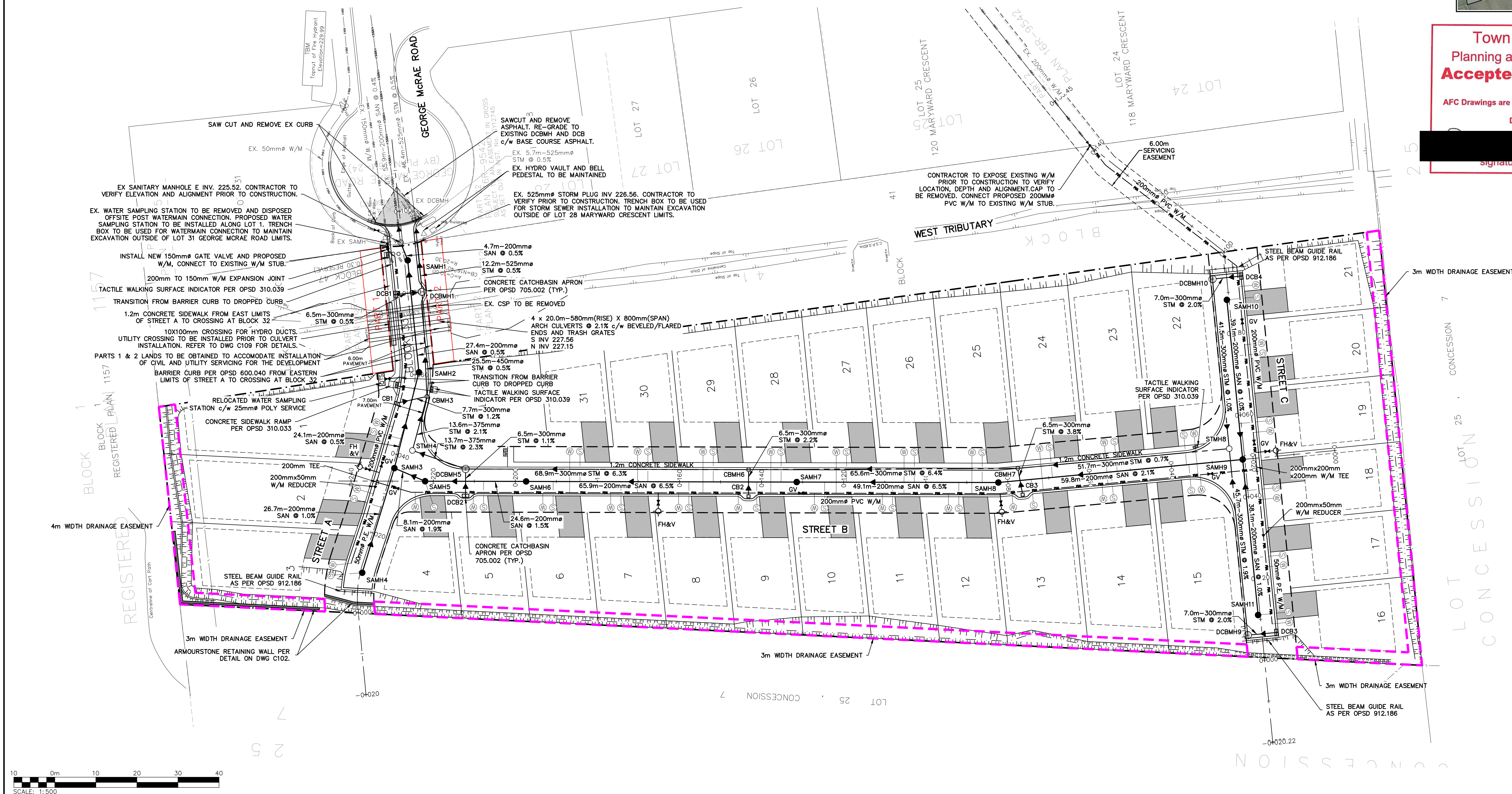


Town of Blue Mountains  
Planning and Development Services  
**Accepted For Construction**

**AFC Drawings are only valid as part and upon execution of a Development Agreement**

Signatur

24-Oct-2023  
date



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4. DO NOT SCALE THE DRAWINGS.
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### TEMPORARY BENCHMARKS

TBM#1 ELEV 229.99m

TOPNUT OF FIRE HYDRANT LOCATED ON GEORGE McRAE ROAD AT THE CORNER OF LOTS 31 AND 32.

TOPOGRAPHIC SURVEY COMPLETED BY ZUBEK, EMO, PATTEN AND THOMSEN LTD. O.L.S., 2018.

	To
--	----

No.	ISSUE	DATE: MM/DD/YY
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7	RE-ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	NOV/28/2022
8	ISSUED FOR SUBMISSION AGREEMENT	OCT/11/2023

Engineer

Engineer

	Project
--	---------

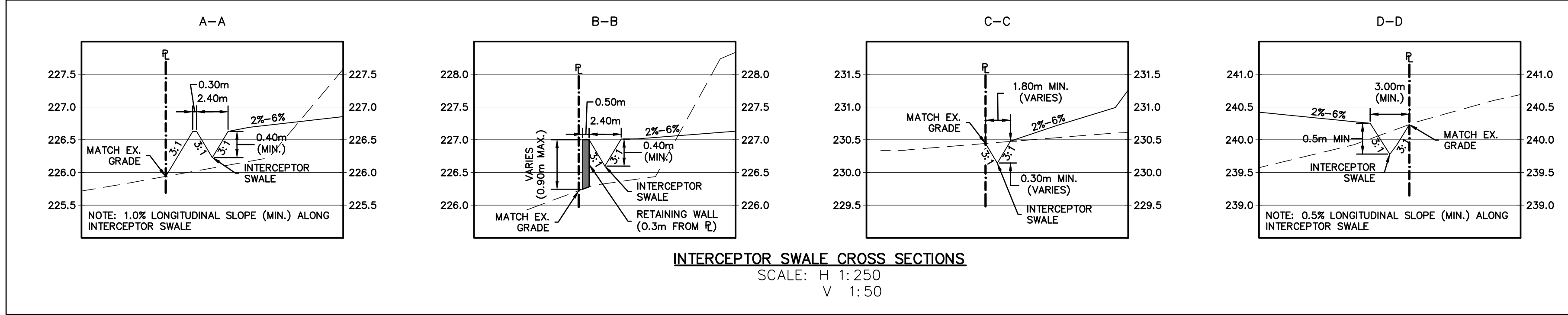
RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS

GENERAL SITE SERVICING PLAN

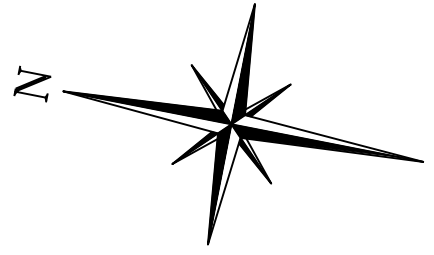


**ADMIRAL BUILDING**  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By	L.W.	Design By	L.W.	Project	1019-5984
Check By	A.S.	Check By	K.M.	Scale	1:500
				Drawing	C101



Town of Blue Mountains Planning and Development Services Accepted For Construction. AFC Drawings are only valid as part and upon execution of a Development Agreement. Date: 24 Oct 2023.



- NOTE: DETAILED BUILDING ELEVATION GRADING TO BE PROVIDED WITH SPECIFIC BUILDING PRODUCTS PER LOT.
- NOTE: EROSION PROTECTION TO BE INSTALLED WHERE PERIMETER (BACKYARD) SWALE EXCEEDS 10% LONGITUDINAL SLOPE. EROSION PROTECTION TO BE COMPLETED AS PART OF INDIVIDUAL BUILDING PERMITS.
- NOTE: IMPORTED FILL MATERIAL FOR ROADWAYS AND LOTS TO BE PLACED AND COMPACTED PER GEOTECHNICAL SITE RECOMMENDATIONS.
- NOTE: ALL ROADWAYS TO BE DESIGNATED FIRE ROUTES. REFER TO DRAWING C110 "PAVEMENT MARKINGS AND SIGNAGE PLAN" FOR PROPOSED LOCATION OF SIGNS FOR THE DEVELOPMENT.
- NOTE: FOR BLOCK 32 LANDSCAPING PLANS REFER TO DWG LP-2.



Grading Legend

FF	= FINISHED FLOOR ELEVATION
TF	= TOP OF FOUNDATION ELEVATION
BF	= BASEMENT FLOOR ELEVATION
T/SLAB	= TOP OF SLAB ELEVATION
USF	= UNDERSIDE OF FOOTING ELEVATION
USF/F	= UNDERSIDE OF FOOTING ELEVATION - FRONT
USF/R	= UNDERSIDE OF FOOTING ELEVATION - REAR
INV	= INVERT ELEVATION (INTERCEPTOR SWALES)

NOTES: 1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH APPROVED CIVIL SITE GRADING PLAN PREPARED BY C.F. CROZIER & ASSOCIATES INC. 2. RETAINING WALL TO BE CONSTRUCTED IN ACCORDANCE WITH PROPOSED GRADES ON SHEET C102 OF THE SITE GRADING PLAN. DIVERGENCE FROM PROPOSED GRADES SHALL BE REVIEWED AND APPROVED BY ENGINEER OF RECORD. 3. DESIGN PARAMETERS: RETAINING WALL DESIGN PROPERTIES: - Soil = 21kN/m³ - Backfill Soil: 27° - Ka: 0.33 - Kp: 2.66 - DENSITY OF THE BLOCKS TO BE 2650 kg/m³ - MAXIMUM BEARING PRESSURE: 150kPa (SL) - SURCHARGE: 2.4kPa - A NON-WOVEN GEOTEXTILE (TERRAFIX 270R OR APPROVED EQUIVALENT) SHALL BE PLACED BEHIND THE RETAINING WALL AS INDICATED. 4. ALL BACKFILL USED BEHIND RETAINING WALL SHALL BE FREE DRAINING GRANULAR 'B' MATERIAL AND SHALL BE PLACED AT A MINIMUM OF 300mm BEHIND THE WALL. 5. ARMOURSTONE BLOCKS TO BE MIN. 600mm HIGH, 900mm DEEP, AND 1000mm LONG UNLESS NOTED OTHERWISE.

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TEMPORARY BENCHMARKS

TEM#1	ELEV 229.99m
TOPNUT OF FIRE HYDRANT LOCATED ON GEORGE MCRAE ROAD AT THE CORNER OF LOTS 31 AND 32.	
TOPOGRAPHIC SURVEY COMPLETED BY ZUBEK, EMO, PATTEN AND THOMSEN LTD. O.L.S., 2018.	

No.	ISSUE	DATE: MM/DD/YYYY	Engineer
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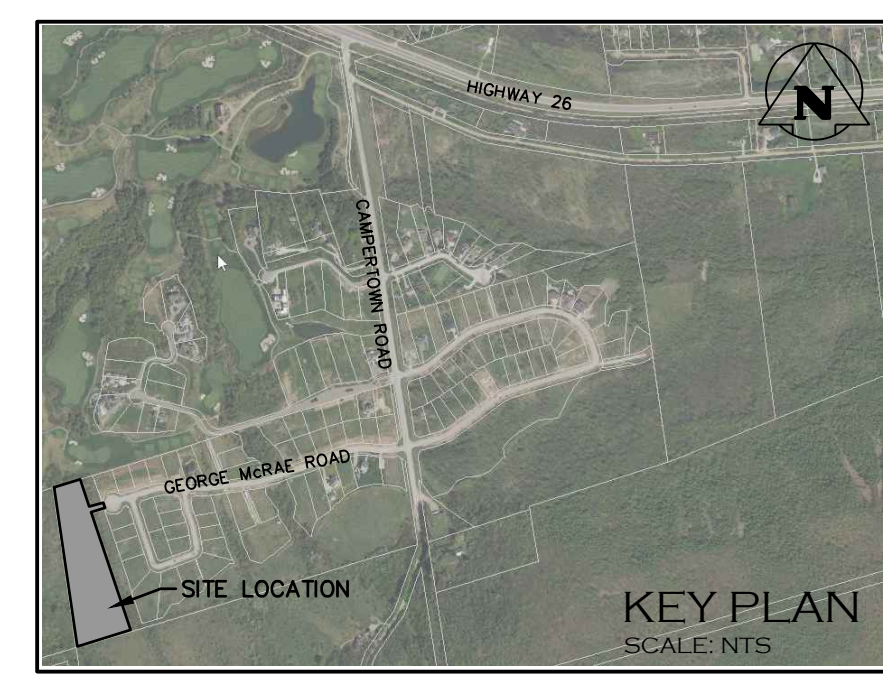
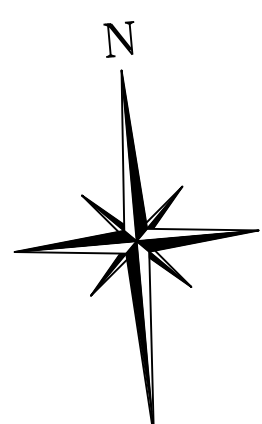
RIDGE ESTATES BLOCK38  
TOWN OF THE BLUE MOUNTAINS

OVERALL SITE GRADING PLAN

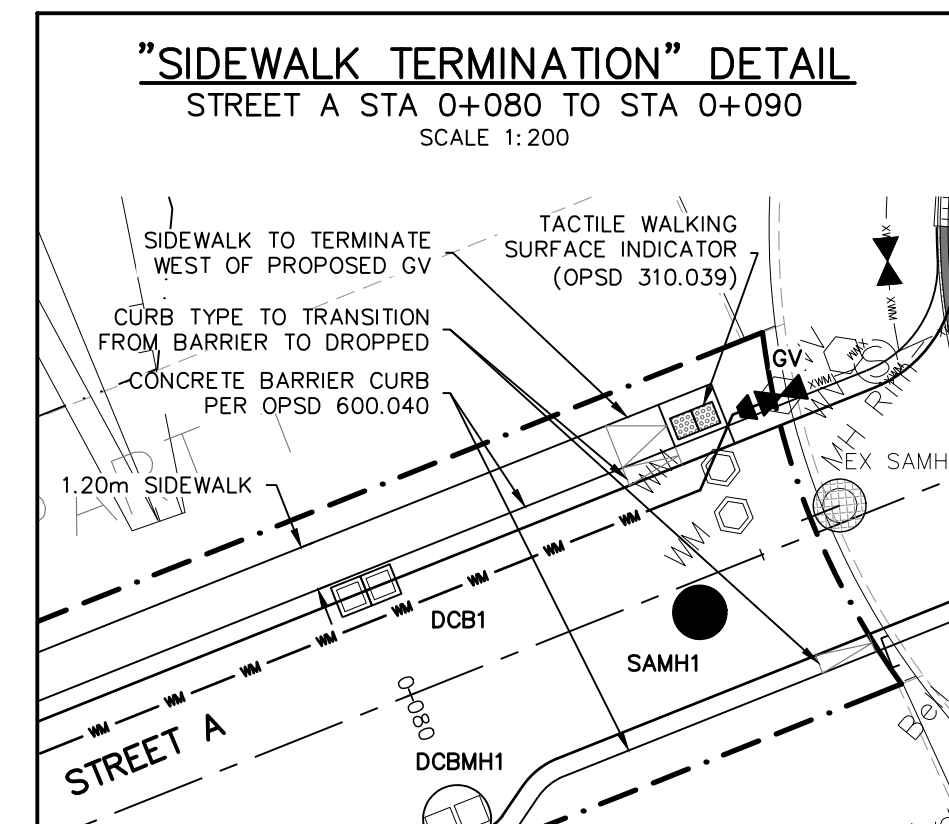


ADMIRAL BUILDING  
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705-446-3510 T  
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WWW.CFCROZIER.CA  
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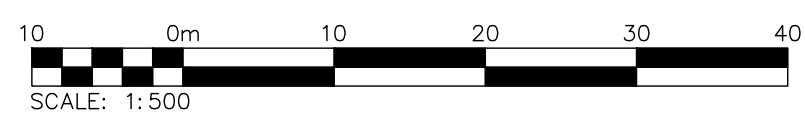
Drawn By	L.W.	Design By	L.W.	Project	1019-5984
Check By	A.S.	Check By	K.M.	Scale	1:500
				Drawing	C.102



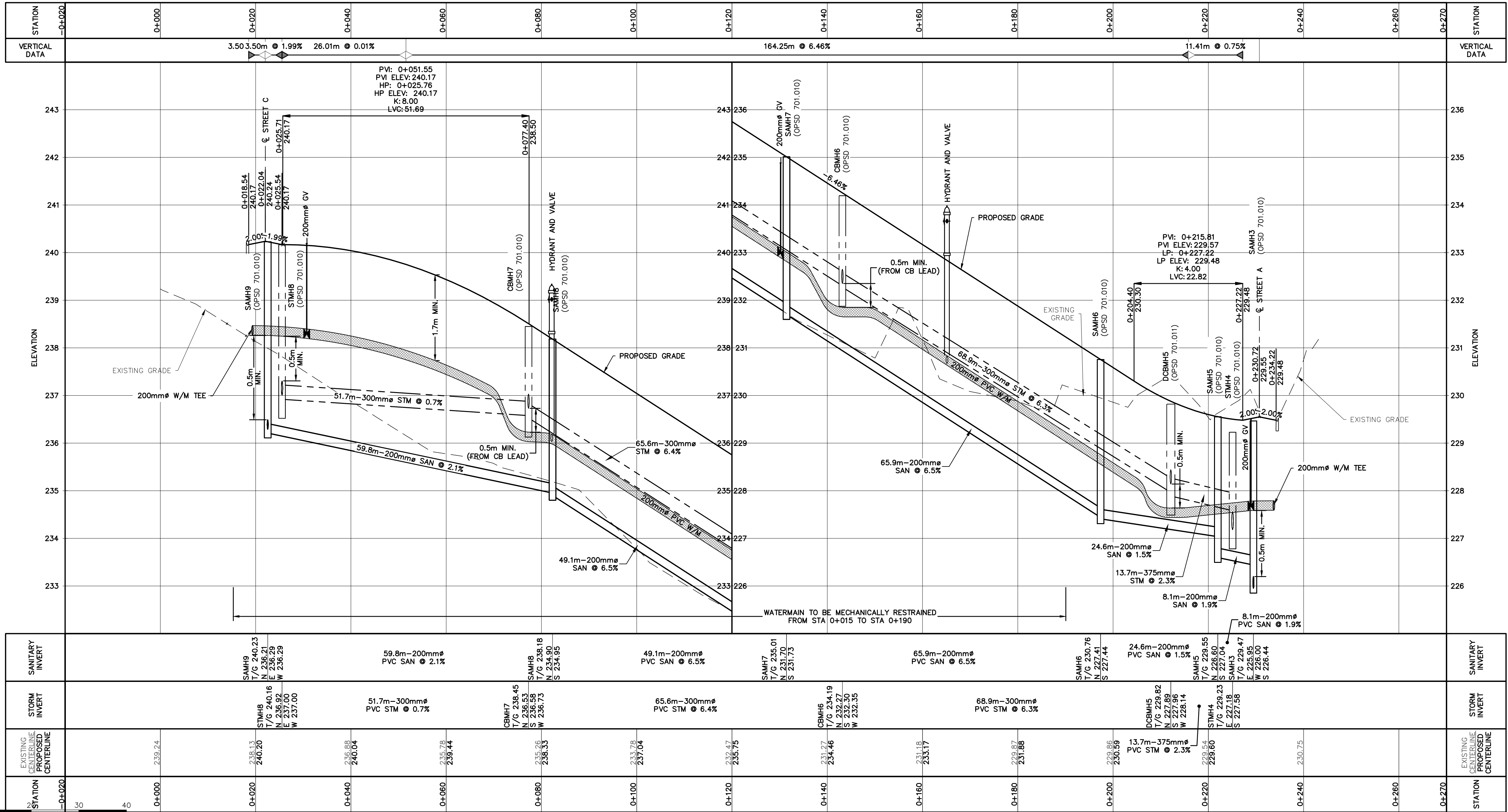
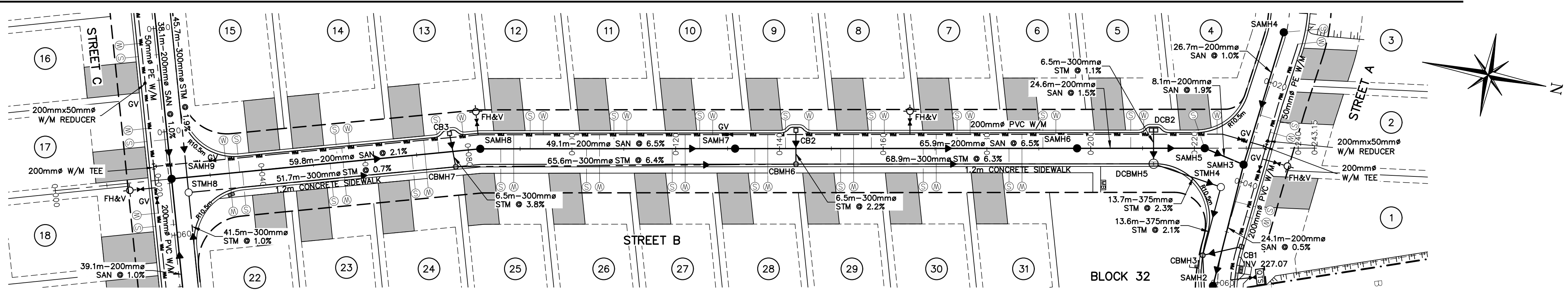
NOTE:  
FOR BLOCK 32 LANDSCAPING PLANS REFER TO DWG LP-2.



24 Oct 2023  
date



- PLAN & PROFILE  
STREET A (STA 0+000 TO 0+101.06)



Town of Blue Mountains  
Planning and Development Services  
**Accepted For Construction**

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24 Oct 2023  
date

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Engineer

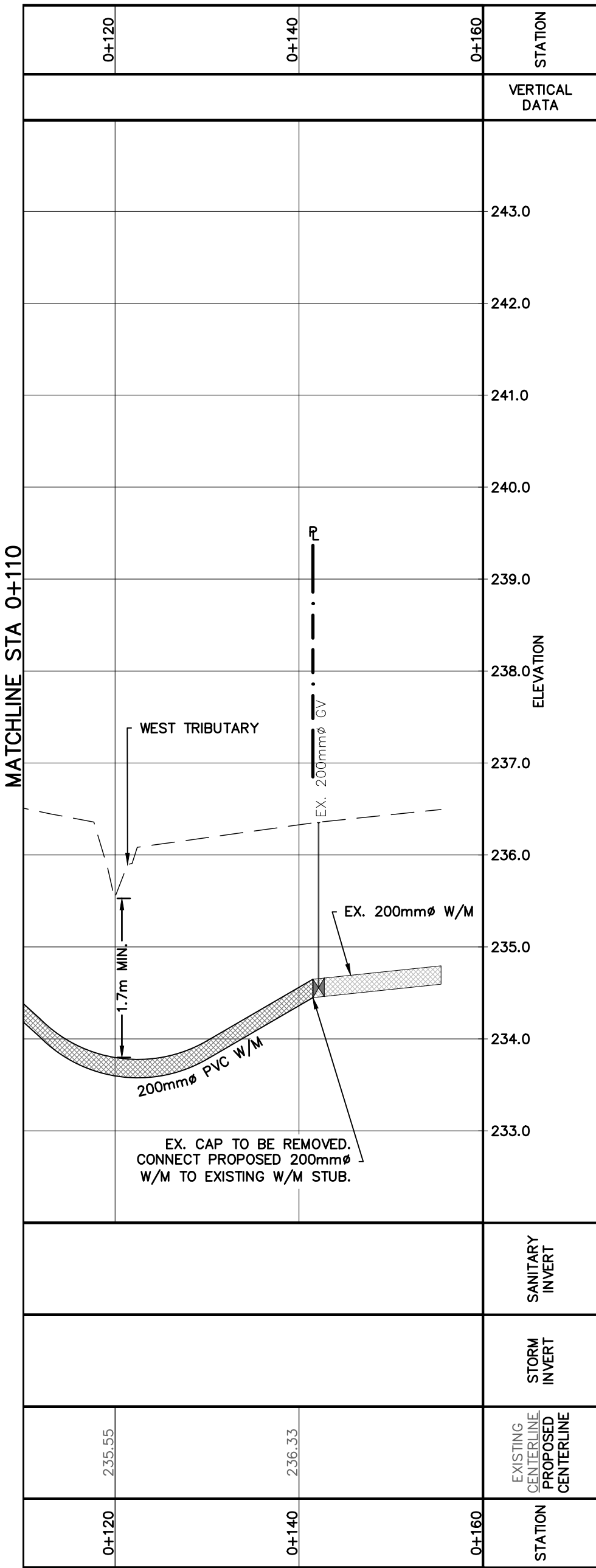
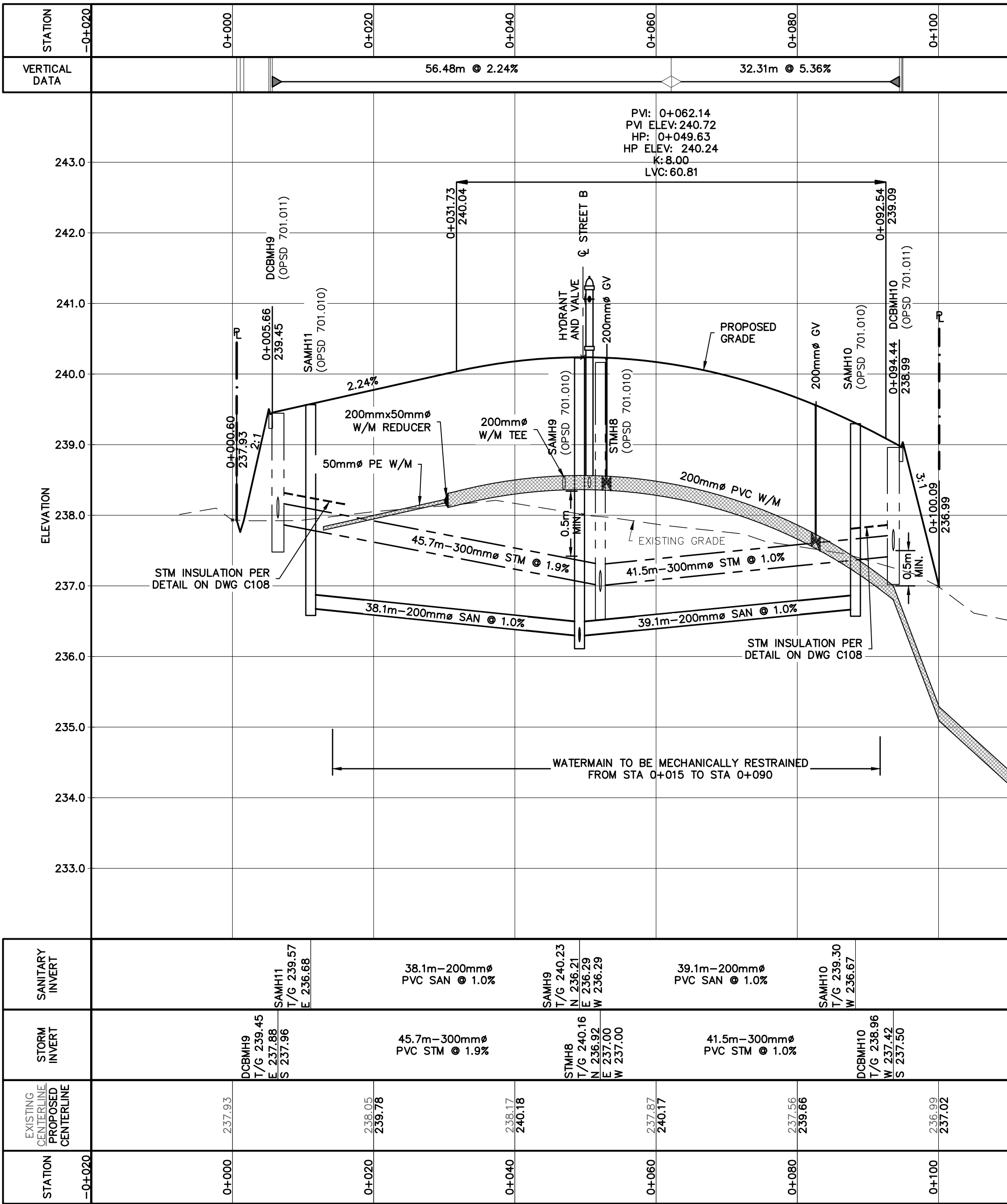
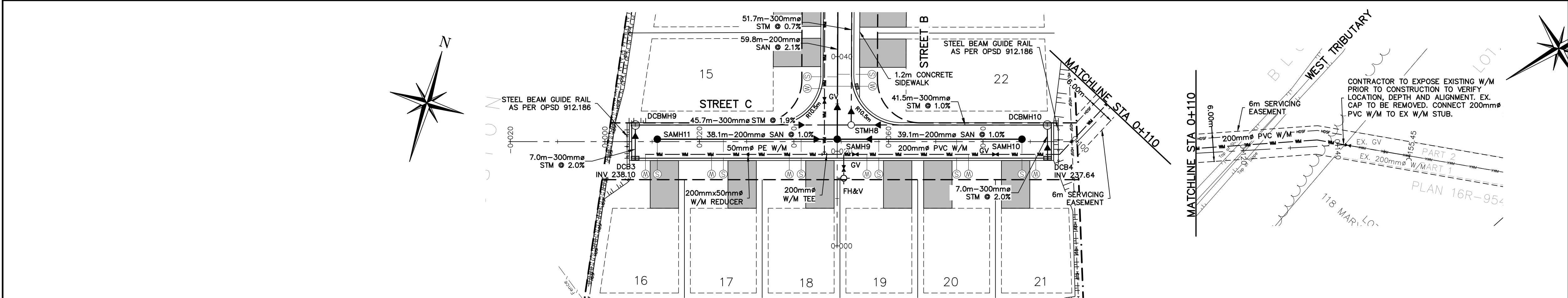
Project  
**RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS**

Drawing  
**PLAN & PROFILE  
STREET B (STA 0+000 TO 0+236.28)**

**CROZIER**  
CONSULTING ENGINEERS

ADAMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON. L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By L.W. Design By L.W. Project 1019-5984  
Check By A.S. Check By K.M. Scale V 1:50 H 1:500 Drawing C103.B



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Engineer

Project

RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS

PLAN & PROFILE  
STREET C & 6m SERVICING EASEMENT  
(STA 0+000 TO 0+155.45)

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Drawn By L.W. Design By L.W. Project 1019-5984  
Check By A.S. Check By K.M. Scale V 1:50 Drawing C103.C  
H 1:500



**LEGEND**

PR. STORM CATCHMENT

CATCHMENT AREA ID

RUNOFF COEFFICIENT

DRAINAGE AREA (ha)

**Town of Blue Mountains**  
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TEMPORARY BENCHMARKS	
TBM#1	ELEV 229.99m
TOPNUT OF FIRE HYDRANT LOCATED ON GEORGE MCRAE ROAD AT THE CORNER OF LOTS 31 AND 32.	
TOPOGRAPHIC SURVEY COMPLETED BY ZUBEK, EMO, PATTEN AND THOMSEN LTD. O.L.S., 2018.	

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3	ISSUED FOR 2nd SUBMISSION	DEC/22/2021
4	ISSUED FOR 3rd SUBMISSION	MAY/27/2022
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7	RE-ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	NOV/28/2022
8	ISSUED FOR SUBDIVISION AGREEMENT	OCT/13/2023

Engineer

[Redacted Signature]

Project

**RIDGE ESTATES BLOCK 38**  
**TOWN OF THE BLUE MOUNTAINS**

Drawing

**STORM DRAINAGE PLAN**

**CROZIER**  
CONSULTING ENGINEERS

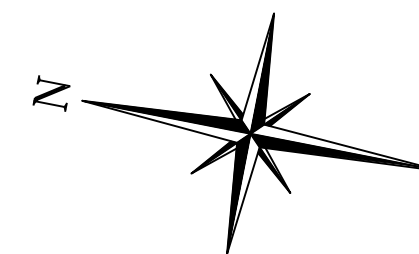
ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By: L.W. Design By: L.W. Project: **1019-5984**

Check By: A.S. Check By: K.M. Scale: 1:500 Drawing: **C104**

**AFC Drawings are only valid as part and upon execution of a Development Agreement**

24-Oct-2023  
date



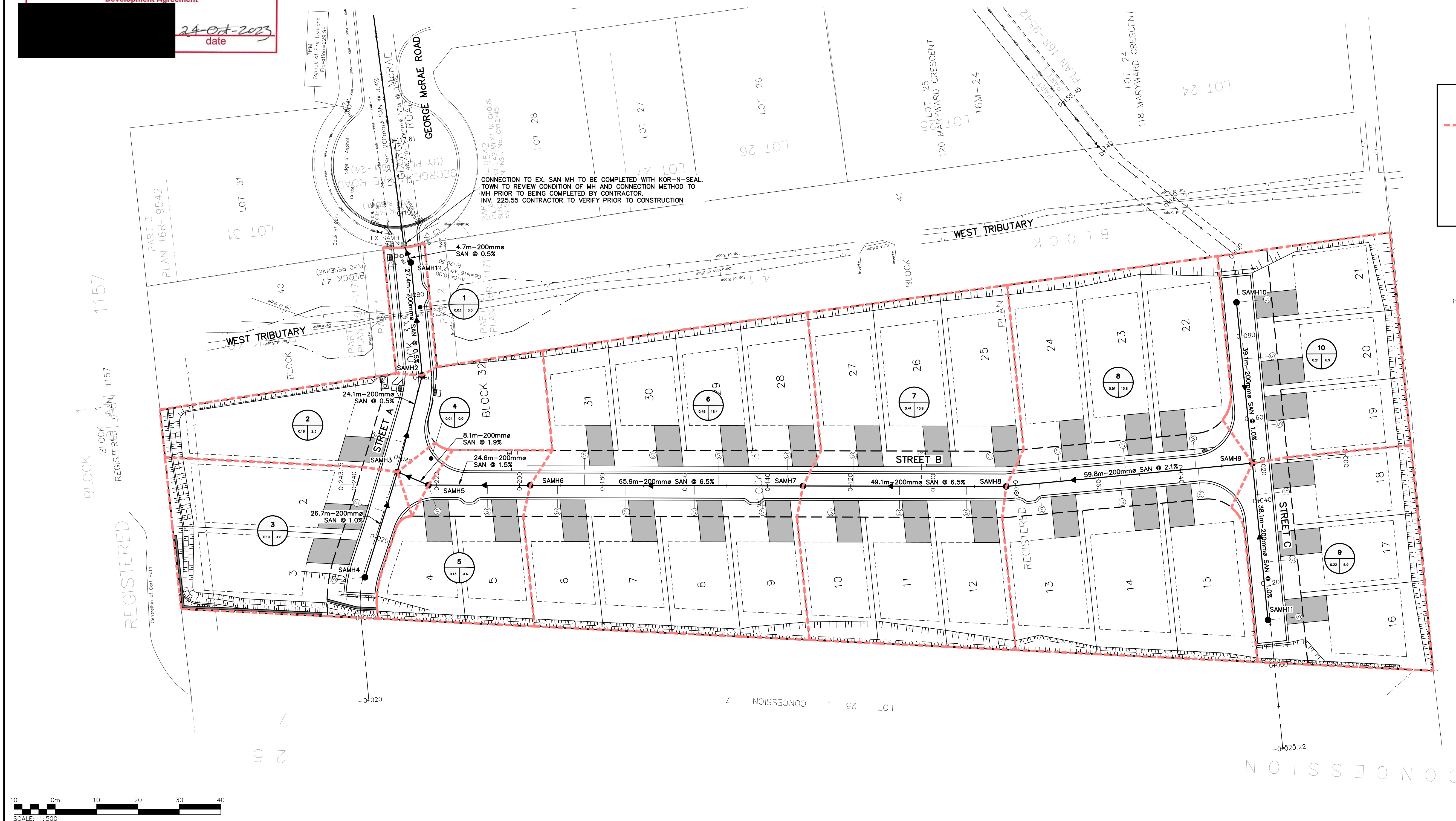
LEGEND

PR. SANITARY CATCHMENT



POPULATION (2.3 p.p.u.)

AREA (ha)



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TEMPORARY BENCHMARKS
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TOPNUT OF FIRE HYDRANT LOCATED ON GEORGE McRAE ROAD AT THE CORNER OF LOTS 31 AND 32.

TOPOGRAPHIC SURVEY COMPLETED BY ZUBEK, EMO, PATTEN AND THOMSEN LTD. O.L.S., 2018.

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Engineer

Engineer

	Project
--	---------

RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS

SANITARY DRAINAGE PLAN



ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By	L.W.	Design By	L.W.	Project	1019-5984
Check By	A.S.	Check By	K.M.	Scale	1:500
				Drawing	C105

NOTE: EXISTING WATERMAIN STUB BETWEEN LOTS 24 & 25 TO BE EXPOSED TO CONFIRM IF EXISTING WATERMAIN IS MECHANICALLY RESTRAINED, IF NOT MECHANICAL RESTRAINTS WILL BE REQUIRED. TOWN OPERATIONS STAFF SHALL BE PROVIDED WITH A MINIMUM OF 48 HOURS NOTICE PRIOR TO THIS BEING COMPLETED.

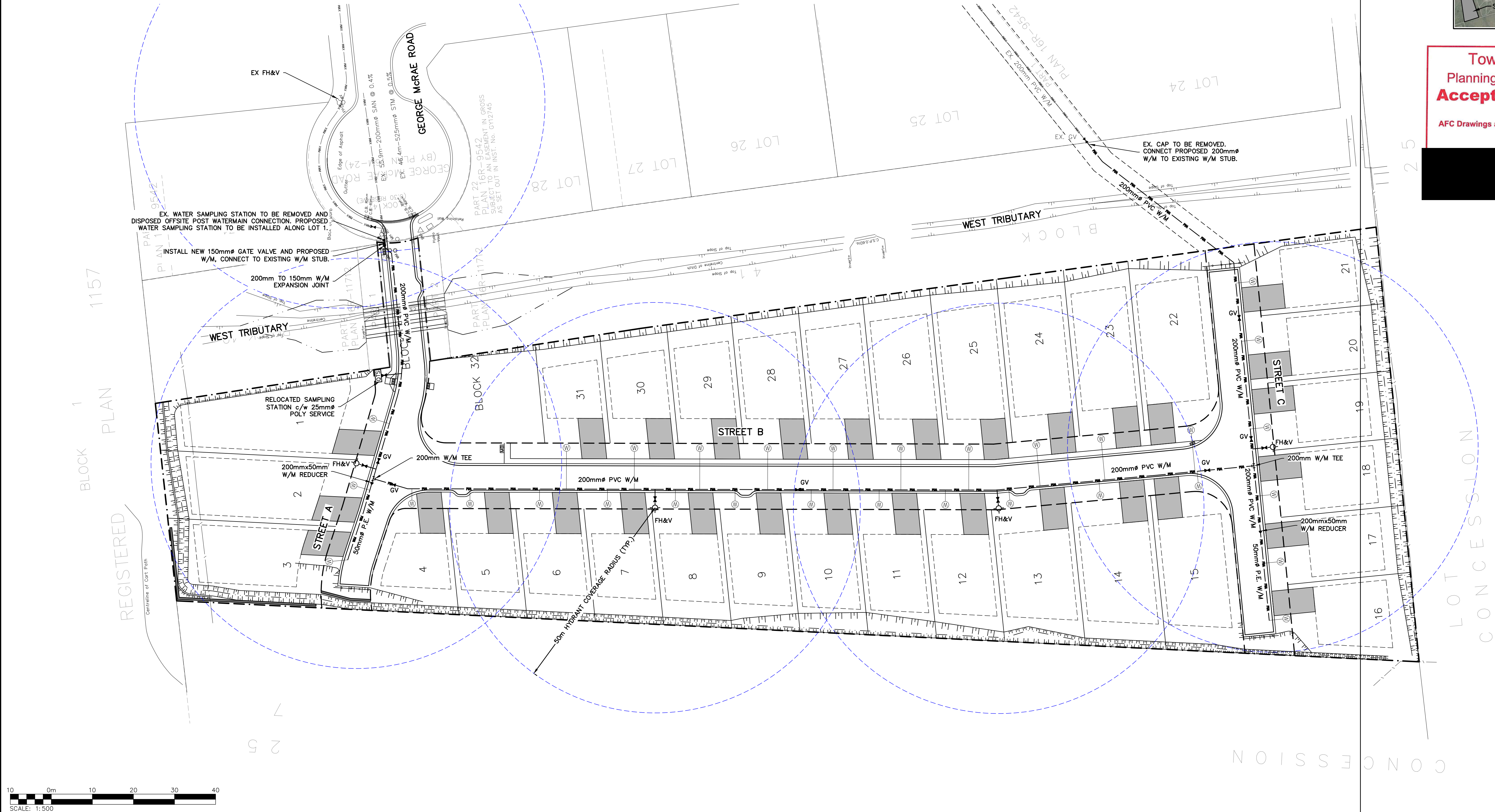
NOTE: EXISTING WATERMAIN STUB AT THE BULB OF GEORGE McRAE TO BE EXPOSED TO CONFIRM IF EXISTING WATERMAIN IS MECHANICALLY RESTRAINED, IF NOT MECHANICAL RESTRAINTS WILL BE REQUIRED. TOWN OPERATIONS STAFF SHALL BE PROVIDED WITH A MINIMUM OF 48 HOURS NOTICE PRIOR TO THIS BEING COMPLETED.



Town of Blue Mountains  
Planning and Development Services  
**Accepted For Construction**

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Town

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Engineer

Engineer

Project

RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS

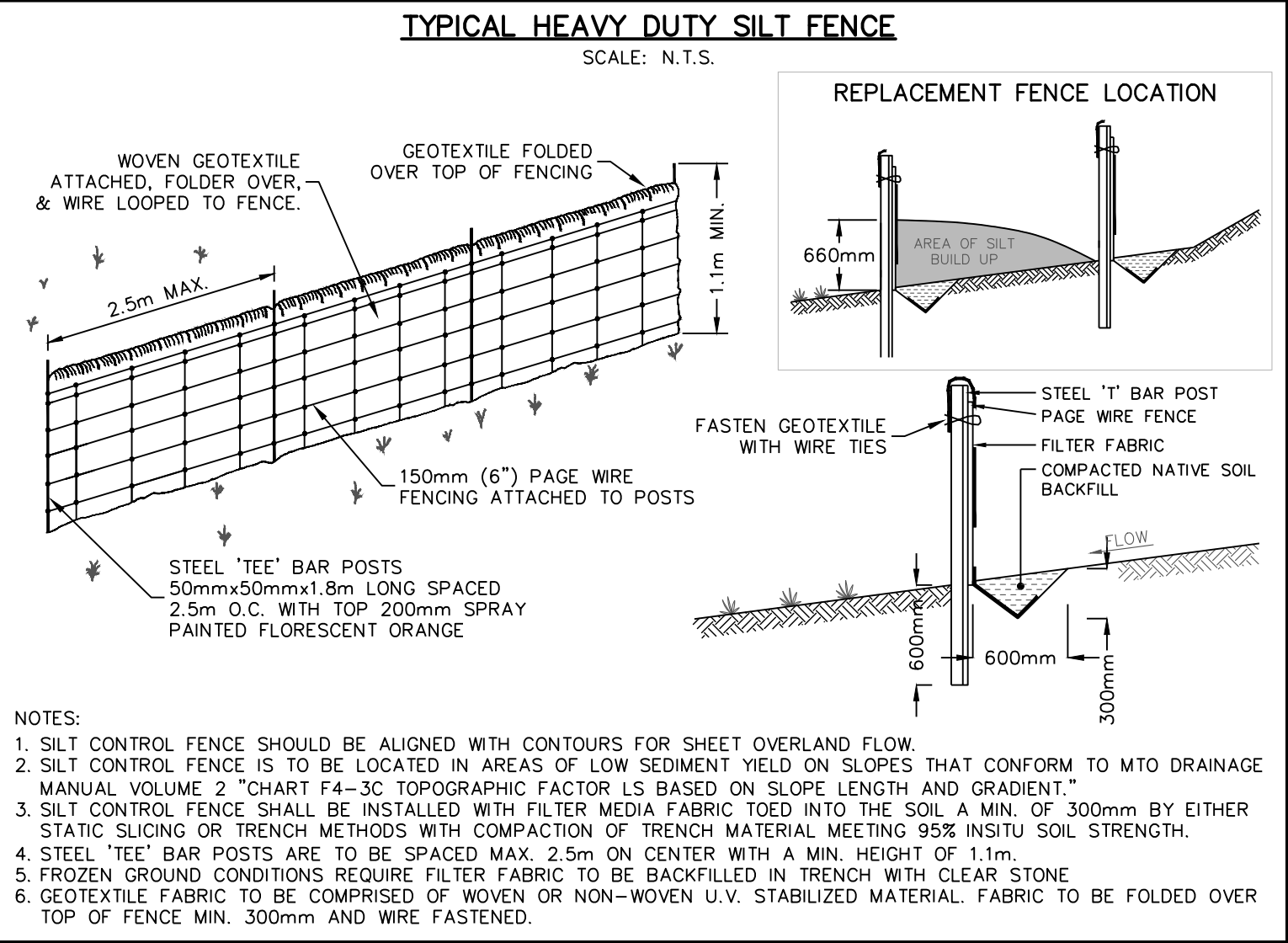
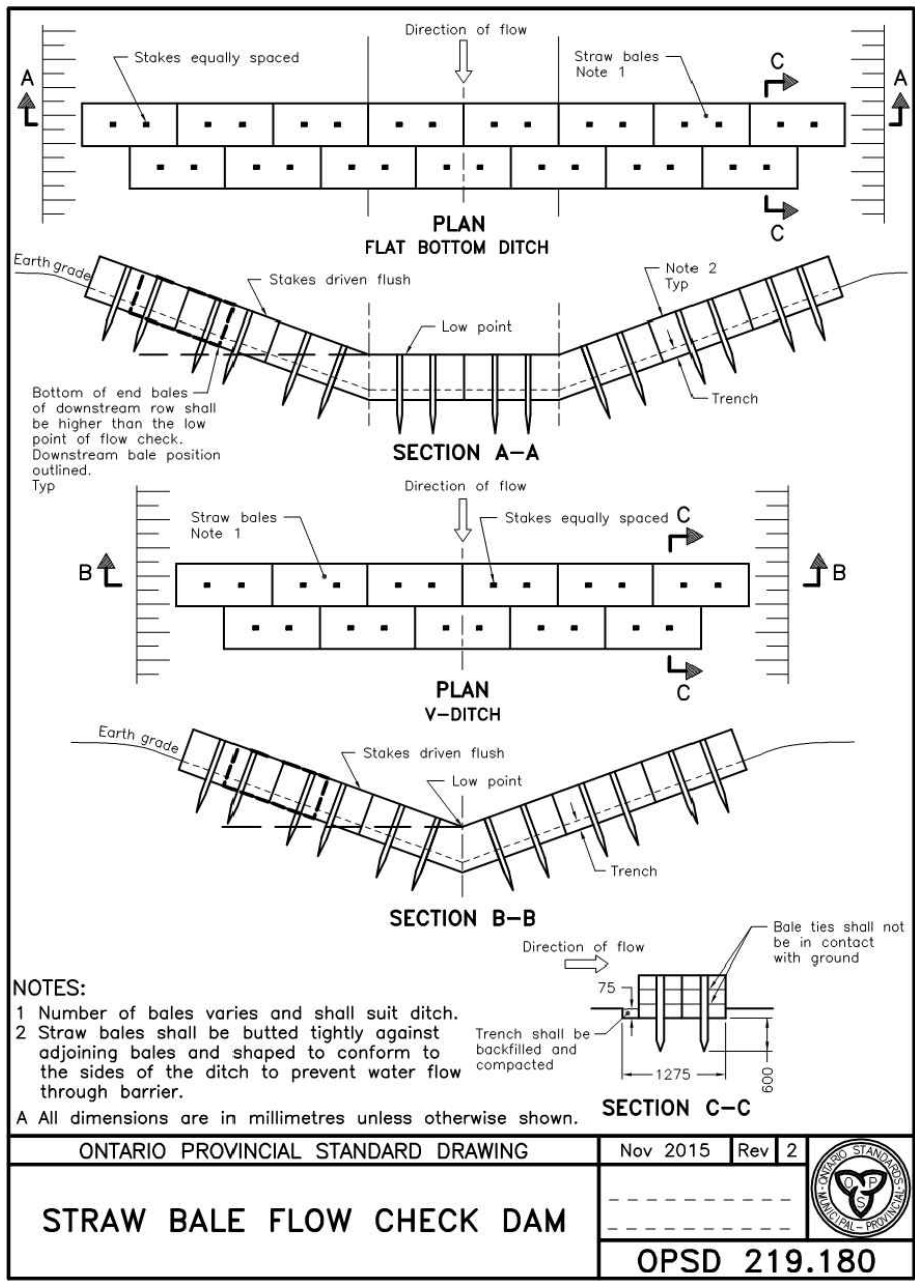
Drawing

WATER DISTRIBUTION PLAN



ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By	L.W.	Design By	L.W.	Project	1019-5984
Check By	A.S.	Check By	K.M.	Scale	1:500
				Drawing	C106



NOTE: VEGETATION CLEARING MUST OCCUR OUTSIDE OF THE BREEDING BIRD SEASON (APRIL 15 TO AUGUST 31) IN ACCORDANCE WITH THE FEDERAL MIGRATORY BIRD CONVENTION ACT. IF TREE REMOVAL MUST OCCUR WITHIN THE BREEDING BIRD SEASON, A QUALIFIED BIOLOGIST MUST SURVEY FOR EVIDENCE OF ACTIVE BIRD NESTING (E.G., NEST BUILDING, ADULTS TENDING A NEST) IN THE STUDY AREA. FOLLOWING THIS SURVEY, THE CONTRACTOR WOULD HAVE 48 HOURS FROM THE TIME OF SURVEY COMPLETION TO REMOVE ALL TREES/VEGETATION - ASSUMING NO EVIDENCE OF ACTIVE NESTING IS FOUND. IF REMOVAL IS NOT COMPLETED WITHIN THE 48-HOUR PERIOD, ANY REMAINING TREES/VEGETATION WOULD BE RECOMMENDED TO BE RE-SURVEYED PRIOR TO THEIR REMOVAL.

NOTE: REFER TO DRAWING TMP-1 'TREE MANAGEMENT PLAN' FOR DETAILS REGARDING TREE PROTECTION AND LOCATION OF ORANGE PLASTIC CONSTRUCTION FENCING.

NOTE: PRE-GRADE OF LOTS 1-3, 22-31 & BLOCK 32 TO BE 0.45m BELOW FINISHED GRADE. PRE-GRADE OF LOTS 4-15 TO BE 0.55m BELOW FINISHED GRADE. PRE-GRADE OF LOTS 16-21 TO BE 0.15m BELOW FINISHED GRADE. PRE-GRADE OF INTERNAL ROAD ROW LIMITS TO BE 0.62m BELOW FINISHED GRADE. FILL PLACED WITHIN BUILDING ENVELOPES AND ROADWAYS TO BE COMPACTED PER GEOTECHNICAL RECOMMENDATIONS.

NOTE: POSITIVE DRAINAGE TO BE MAINTAINED DURING ROUGH GRADING.

- GENERAL CONSTRUCTION NOTES:
- CONTRACTOR TO MAINTAIN DRAINAGE ONSITE TO PREVENT PONDING.
  - HEAVY DUTY SILT FENCE (HDSF) TO BE INSTALLED PER OPSD 219.130.
  - COMPOSITION, PRIOR TO PLACEMENT, OF IMPORTED FILL MATERIAL TO BE REVIEWED BY A QUALIFIED PROFESSIONAL PER O. REG. 153/04.
  - COMPACTION OF FILL MATERIAL TO BE REVIEWED BY GEOTECHNICAL CONSULTANT ONSITE.
  - OPERATIONS ASSOCIATED WITH HANDLING AND MOVEMENT OF EXCESS FILL MATERIAL SHALL FOLLOW O. REG. 406/19 AS OF JANUARY 1, 2022.
  - TREE CLEARING TO BE COMPLETED TO LIMITS OF SILT FENCING AND/OR ORANGE PLASTIC CONSTRUCTION FENCING.
  - THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE MUNICIPAL ROADWAYS AND SIDEWALKS ARE CLEARED OF ALL MUD, DIRT AND DEBRIS AT ALL TIMES. STREET SWEEPING AND CLEARING MUST OCCUR AT LEAST ONCE PER WEEK AS REQUIRED OR AT THE DIRECTION OF THE TOWN OR CONTRACT ADMINISTRATOR.
  - TRUCKING OPERATIONS TO BE HALTED IMMEDIATELY SHOULD TOWN STAFF IDENTIFY DETERIORATING ROAD CONDITIONS ON GEORGE MCRAE ROAD.

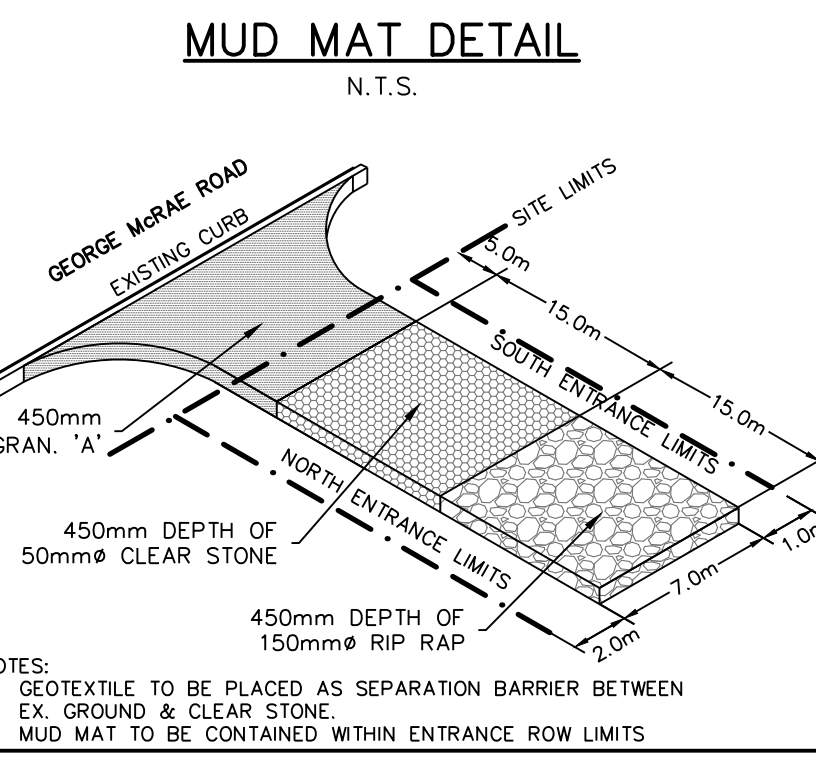
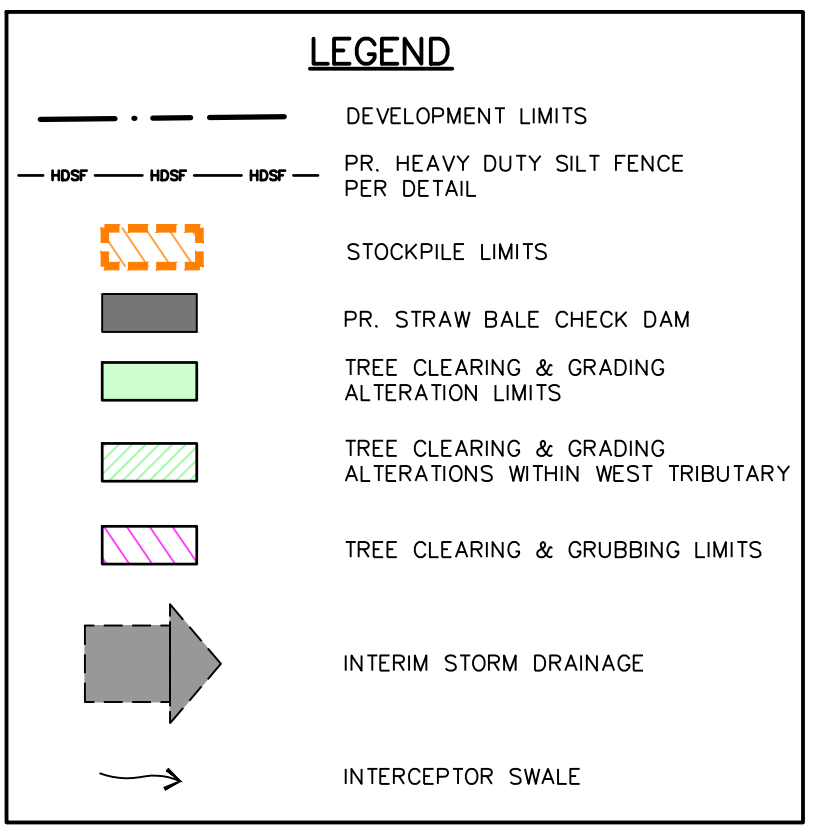
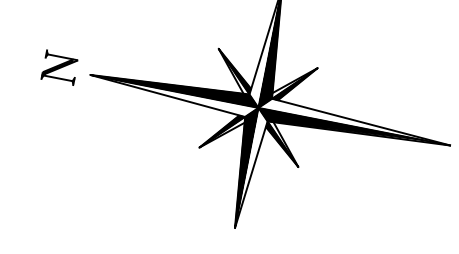
TABLE 1: EARTHWORK QUANTITIES FOR SITE PREPARATION		
Earthwork Item	Quantity	Unit
Tree Clearing & Grubbing	19000	m ²
Topsoil Stripping	7000	m ³
Existing Stockpile Removal	8800	m ³
Fill Importation	37500	m ³

NOTE: ABOVE QUANTITIES ARE ESTIMATES BASED ON PROPOSED GRADING AND GEOTECHNICAL FINDINGS ONSITE COMPLETED BY WSP (2018). QUANTITIES ARE SUBJECT TO CHANGE BASED ON FIELD CONDITIONS.

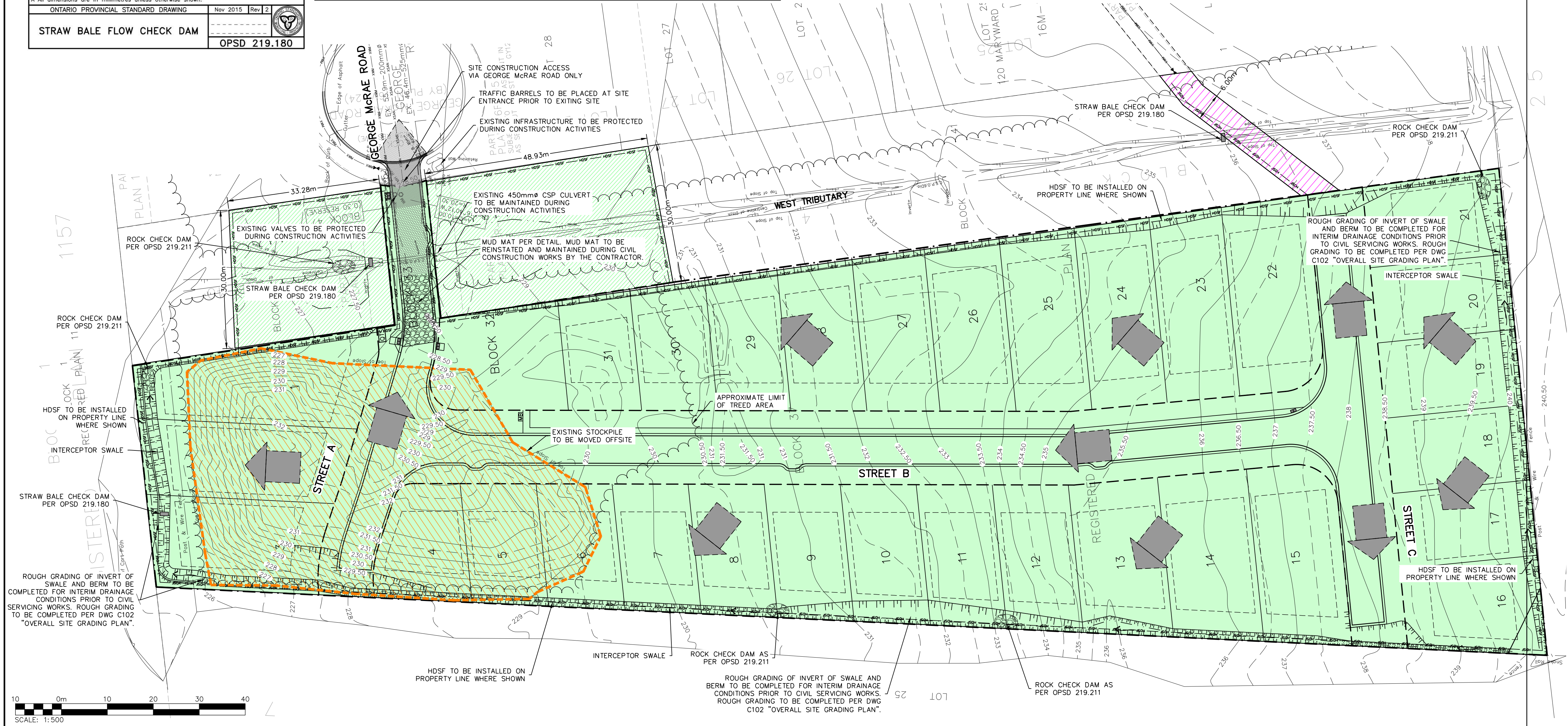
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- NOTES:
- MAINTENANCE & OPERATIONS OF SEDIMENT CONTROLS
- SILT FENCE
- SILT FENCE MUST BE INSPECTED WEEKLY FOR RIPS OR TEARS, BROKEN STAKES, BLOW-OUTS AND ACCUMULATION OF SEDIMENT.
  - SILT FENCE MUST BE INSPECTED FOLLOWING ALL 15mm OR GREATER RAIN STORM EVENT OR AS DIRECTED BY THE CONTRACT ADMINISTRATOR. SEDIMENT MUST BE REMOVED FROM SILT FENCE WHEN ACCUMULATION REACHES 50% OF THE HEIGHT OF THE FENCE.
  - ALL SILT FENCES MUST BE REMOVED ONLY WHEN THE ENTIRE SITE IS STABILIZED AND AS DIRECTED BY THE CONTRACT ADMINISTRATOR.
- MUD MAT
- INSPECT MUD MAT WEEKLY TO ASSESS CONDITION AND ENSURE OPERATION EFFICIENCY.
  - SUPPLY AND PLACE ADDITIONAL GRANULAR/RIP RAP MATERIAL AS DIRECTED BY THE CONTRACT ADMINISTRATOR.
  - MUD MAT TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR AS DIRECTED BY THE CONTRACT ADMINISTRATOR.
- CHECK DAM
- CHECK DAMS TO BE REVIEWED REGULARLY AND AFTER SIGNIFICANT RAINFALLS. CHECK DAMS ARE TO BE MAINTAINED/REPLACED IF REQUIRED.



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RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS

SITE ALTERATION, CONSTRUCTION ACCESS AND  
SEDIMENT & EROSION CONTROL PLAN

Drawn By L.W. Design By L.W. Project 1019-5984  
Check By A.S. Check By K.M. Scale 1:500 Drawing C107

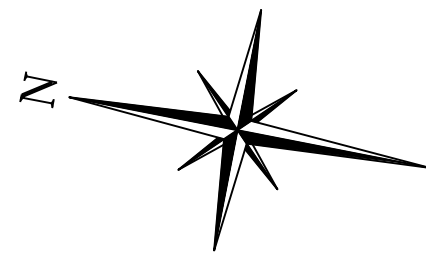




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PAVEMENT MARKINGS LEGEND

13 SOLID WHITE, 30cm

NOTES:  
1. USE 13 TO DENOTE DURABLE PAVEMENT MARKING

LEGEND

PROPOSED TRAFFIC SIGN

PROPOSED STREET NAME SIGN

SIGNAGE LEGEND

SIGN NAME	SIGN NUMBER	SIZE (cm)	OTM BOOK	SECTION
STOP	Ra-1	60x60	5	2
ALL-WAY TAB	Ra-1t	15x30	5	2
MAXIMUM SPEED WITH KM/H INCLUDED	Rb-1a	60x90	5	5
CHECKERBOARD	Wa-8	75x75	6	2
PEDESTRIANS AHEAD	Wc-7	75x75	6	7
PEDESTRIANS YIELD TO TRAFFIC	Wc-36	75x30	15	6
FIRE ROUTE	FRNP	30x45	-	-

NOTES:  
1. PAVEMENT MARKINGS TO ADHERE TO ONTARIO PROVINCIAL STANDARD SPECIFICATION (OPSS) 710.  
2. PAVEMENT MARKINGS TO BE COMPLETED IN ACCORDANCE WITH ONTARIO TRAFFIC MANUAL (OTM) BOOK 11 (PAVEMENT, HAZARDS AND DELINEATION MARKING).  
3. SIGNAGE SHALL ADHERE TO ONTARIO TRAFFIC MANUAL (OTM) BOOK 5 (REGULATORY SIGNS) AND BOOK 6 (WARNING SIGNS).

NOTE: ALL ROADWAYS TO BE DESIGNATED FIRE ROUTES.



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Engineer

Engineer

Project

RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS

Drawing

PAVEMENT MARKING AND SIGNAGE PLAN



ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By: J.P. Design By: N.F. Project: 1019-5984  
Check By: R.M. Check By: A.S. Scale: 1:500 Drawing: C110

ELECTRICAL SPECIFICATIONS

ELECTRICAL DRAWING LIST

E001	ELECTRICAL SPECIFICATIONS, LEGEND & DRAWING LIST
E100	SITE PLAN - PHOTOMETRIC
E101	SITE LIGHTING DETAILS
E110	SITE PLAN - ELECTRICAL
E111	SITE ELECTRICAL DETAILS

GENERAL

- CONFORM TO THE GENERAL CONDITIONS OF THE CONTRACT.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE AND PAY FOR NECESSARY INSPECTION PERTAINING TO THE INSTALLATION OF THEIR WORK.
- WORK MUST BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO ELECTRICAL SAFETY CODE, OCCUPATIONAL HEALTH AND SAFETY ACT, AND LOCAL CODES. MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CANADIAN STANDARDS ASSOCIATION, AND LOCAL CODES.
- DO NOT REDUCE THE STANDARDS ESTABLISHED BY THE DRAWINGS AND SPECIFICATIONS BY APPLYING ANY OF THE CODES REFERRED TO HEREIN.
- PROVIDE ALL MATERIALS AND DEVICES, ALL LABOUR AND TOOLS, AS WELL AS ANY MISCELLANEOUS MATERIALS REQUIRED TO COMPLETE THE WORK INDICATED ON THE DRAWINGS AND IN THESE SPECIFICATIONS.
- ELECTRICAL EQUIPMENT IS SHOWN NOT TO SCALE (N.T.S.) ON DRAWINGS.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED ELECTRICIANS HOLDING A VALID CERTIFICATE OF QUALIFICATION.
- CONTRACTOR SHALL MAKE A PERSONAL SITE VISIT TO CONFIRM ALL QUANTITIES, LOCATIONS, AND ARRANGEMENTS BEFORE PROCEEDING WITH THE WORK. CLAIMS FOR EXTRAS WILL NOT BE ACCEPTED FOR WORK RESULTING FROM CONDITIONS THAT WOULD HAVE BEEN EVIDENT UPON THOROUGH EXAMINATION OF THE SITE.
- REPAIR OR PAY FOR ALL DAMAGE TO THE BUILDING INCURRED BY THE WORK OF THIS DIVISION. THE OWNER'S PROPERTY MUST BE KEPT IN TIDY CONDITION. PROMPTLY REMOVE GARBAGE FROM THE SITE.
- COORDINATE THE INSTALLATION OF WORK WITH OTHER TRADES. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LAYOUT OF EQUIPMENT AND MATERIALS AND ENSURING THERE ARE NO INTERFERENCES WITH OTHER SYSTEMS.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION AND BACK FILL REQUIRED FOR THE INSTALLATION OF UNDERGROUND WORK. BACK FILL MATERIAL MUST BE CLEAN AND PROPERLY COMPACTED.
- EQUIPMENT SHALL BE INSTALLED, TESTED, AND ADJUSTED AS PER THE MANUFACTURER'S INSTRUCTIONS, AND AS NECESSARY TO ENSURE OPTIMUM PERFORMANCE. EQUIPMENT SHALL BE INSTALLED TO ALLOW FOR EASY ACCESS AND MAINTENANCE.
- THE ELECTRICAL CONTRACTOR SHALL GUARANTEE WORK PERFORMED UNDER THIS CONTRACT FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION.
- MATERIALS AND EQUIPMENT SHALL BE NEW AND TOP QUALITY, EXCEPT WHERE NOTED OTHERWISE. THIS SPECIFICATION SHALL BE CONSIDERED TO BE THE BASE BID SPECIFICATION AND CONTRACTORS MUST CARRY THE BASE BID MANUFACTURER'S IN THEIR QUOTATION. ALTERNATE MANUFACTURER'S OF EQUIPMENT CAN ONLY BE OFFERED AS PROPOSED ALTERNATES WITH THE CORRESPONDING PRICE REDUCTIONS CLEARLY SHOWN ON A SEPARATE SHEET IF NECESSARY.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM TO THE OWNER SUPPLIED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. ERRORS OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACT ADMINISTRATOR IMMEDIATELY.
- ENSURE THAT ALL EQUIPMENT SUPPLIED IS SUITABLE FOR THE RESPECTIVE VOLTAGE.

TEMPORARY FACILITIES AND WASTE DISPOSAL

- PROVIDE TEMPORARY STORAGE AS REQUIRED FOR ELECTRICAL CONSTRUCTION EQUIPMENT AND MATERIALS. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR STORAGE AND SECURITY OF MATERIALS AND EQUIPMENT ON THE JOB SITE.
- REMOVE ALL CONSTRUCTION WASTE FROM SITE.
- APPLY WASTE MANAGEMENT FOR REDUCTION, RECYCLING AND REUSE.

SUBMITTALS

- SUBMIT SHOP DRAWINGS OR PRODUCT DATA SHEETS, AS APPROPRIATE, TO CONTRACT ADMINISTRATOR FOR ALL ELECTRICAL EQUIPMENT AND DEVICES.
- CHANGES TO THE CONTRACT RESULTING FROM UNFORESEEN SITE CONDITIONS, OR CHANGES REQUIRED BY ANY AND ALL AUTHORITIES HAVING JURISDICTION SHALL BE SUBMITTED TO THE CONSULTANT.
- ONE (1) FULL SIZE SET OF AS-BUILT DRAWINGS AND SPECIFICATIONS SHALL BE MARKED AND SUBMITTED TO THE CONTRACT ADMINISTRATOR.
- CERTIFICATE OF INSPECTION AND APPROVAL FROM THE ELECTRICAL SAFETY AUTHORITY SHALL BE SUBMITTED TO THE CONTRACT ADMINISTRATOR.

- PROVIDE OPERATION AND MAINTENANCE (O&M) MANUALS, TEST RESULTS, CERTIFICATES, AND WARRANTIES. CONTRACTOR SHALL CREATE FIRST PAGE WITH CHART CLEARLY SHOWING REQUIRED MAINTENANCE ACTIVITIES AND ASSOCIATED SCHEDULE PER MANUFACTURER'S RECOMMENDATIONS.

GENERAL PRODUCT REQUIREMENTS

- ALL MATERIAL SHALL BE COMMERCIAL GRADE, NEW, WITHOUT DEFECT, AND C.S.A. APPROVED INCLUDING CONTROL PANEL AND COMPONENT ASSEMBLIES UNLESS NOTED OTHERWISE.
- PROVIDE APPROPRIATE ACCESSORIES TO COMPLETE THE INSTALLATION INCLUDING, BUT NOT LIMITED TO FASTENINGS, SUPPORTS, CONNECTORS, SEALANTS.
- ALL CONDUCTORS SHALL BE COPPER UNLESS NOTED OTHERWISE.
- REMOVE BURRS AND SHARP EDGES.
- PROVIDE SPARE PARTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

PAINT, FINISHES LABELING AND SIGNAGE

- PROVIDE IDENTIFICATION LABELS AND WARNING SIGNAGE IN ACCORDANCE WITH THE ELECTRICAL CODE.
- PROVIDE LABELS ON ELECTRICAL DISTRIBUTION EQUIPMENT TO WARN PERSONS OF POTENTIAL ELECTRIC SHOCK AND ARC FLASH HAZARDS. THE OWNER SHALL PROVIDE ARC FLASH RATINGS WHERE REQUIRED.
- CLEARLY IDENTIFY ALL DISTRIBUTION PANELS WITH LAMACOID LABELS.
- PROVIDE COMPLETE, CLEARLY LEGIBLE PANEL DIRECTORY MOUNTED INSIDE THE DOOR OF EACH DISTRIBUTION PANEL. DETERMINE ALL LOADS AND INCLUDE IN PANEL DIRECTORY.

ELECTRICAL EXECUTION REQUIREMENTS

- PROVIDE APPROPRIATE ACCESSORIES TO COMPLETE THE INSTALLATION INCLUDING, BUT NOT LIMITED TO FASTENINGS, SUPPORTS, CONNECTORS, SEALANTS.
- INSTALL ALL MATERIALS IN A NEAT WORKMAN LIKE MANNER, PLUMB, SQUARE AND STRAIGHT WITH RESPECT TO BUILDING LINES.
- MAINTAIN PHASE SEQUENCE AND COLOUR CODING.
- ENSURE THAT SLEEVES AND OPENINGS FOR THIS DIVISION ARE INSTALLED IN FOOTINGS, FOUNDATIONS, AND SLABS BEFORE CONCRETE IS POURED.
- BE PRESENT DURING EXCAVATING AND BACKFILLING WORK WHERE ELECTRICAL SERVICES ARE INSTALLED-ENSURE ROUTE, DEPTH, AND BACKFILL MATERIALS ARE AS SPECIFIED. PROVIDE MARKING TAPES. ARRANGE INSPECTIONS PRIOR TO BACKFILL.
- COORDINATE THE INSTALLATION OF REQUIRED SUPPORTING DEVICES AND SET SLEEVES IN CAST-IN-PLACE CONCRETE, MASONRY WALLS, AND OTHER STRUCTURAL COMPONENTS AS THEY ARE CONSTRUCTED.
- COORDINATE ARRANGEMENT, MOUNTING AND SUPPORT OF ELECTRICAL EQUIPMENT:
  - TO PROVIDE FOR EASE OF MAINTENANCE, OPERATION OF DOORS AND ACCESS POINTS OF THE EQUIPMENT WITH MINIMUM INTERFERENCE TO OTHER INSTALLATIONS;
  - SUCH THAT RACEWAYS, CABLES, WIREWAYS WILL BE CLEAR OF OBSTRUCTIONS AND OF THE WORKING AND ACCESS SPACE OF OTHER EQUIPMENT;
  - SUCH THAT NAMEPLATES AND LABELS ARE VISIBLE.

RACEWAY, JUNCTION BOXES AND ENCLOSURES

- CLEAN CONDUIT OF OBSTRUCTIONS BEFORE PULLING WIRE.
- PROVIDE KNOCK-OUT PLUGS AND COVER PLATES TO COVER ALL REMAINING OPENINGS ON PANELS AND JUNCTION BOXES.
- ENSURE WEATHERPROOF ENCLOSURES ARE SEALED TIGHT EXCEPT FOR ANY APPROPRIATE DRAIN HOLES OR VENTS.
- PROVIDE BUSHINGS FOR PIPE SLEEVES TO PROTECT EMERGING CONDUCTORS.
- PROVIDE SLEEVES FOR PENETRATIONS UNLESS CORE-DRILLED HOLES OR FRAMED OPENINGS ARE USED.
- SEAL SPACE OUTSIDE OF SLEEVES WITH GROUT. PROMPTLY PACK GROUT SOLIDLY BETWEEN SLEEVE AND WALL SO NO VOIDS REMAIN. TOOL EXPOSED SURFACES SMOOTH; PROTECT GROUT WHILE CURING. PROVED WEATHERPROOF SEALS FOR EXTERIOR PENETRATIONS.
- TEMPORARILY SEAL CONDUIT ENDS WHERE EXPOSED TO DIRT, FIBERS OR FLYINGS, WATER, OR FALLING DEBRIS DURING CONSTRUCTION.
- USE FITTINGS WITH EQUAL PROTECTION TO ENCLOSURE TYPE TO SEAL OUT WATER/OIL.
- PROTECT ENCLOSURES WITH SEALS/COVERS WHERE EXPOSED TO DIRT, FIBERS OR FLYINGS, WATER, FALLING DEBRIS, OR OTHER CONTAMINANTS DURING CONSTRUCTION.

PANELBOARDS

- COVER EXPOSED PANELS TO PROTECT FROM DUST, PAINT AND OTHER CONTAMINANTS DURING CONSTRUCTION. CLEAN OUT DUST AND DEBRIS BEFORE ENERGIZING.

WIRES AND CABLES

- DO NOT SPLICE.
- ALL CONDUCTORS: COPPER.

- CONDUCTORS #14AWG AND LARGER: STRANDED.
- PULL CABLE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, USING CABLE GRIPS AND LUBRICANT SUITABLE FOR THE TYPE OF CABLE.

GROUNDING AND BONDING

- GROUNDING REQUIREMENTS ARE GENERALLY NOT SHOWN ON THE DRAWINGS. PROVIDE ALL GROUNDING PER THE LATEST ONTARIO ELECTRIC SAFETY CODE (OESC), ELECTRICAL SAFETY AUTHORITY (ESA) OR ANY OTHER LOCAL AUTHORITY REGARDLESS OF WHETHER IT HAS BEEN SHOWN. THIS INCLUDES EQUIPMENT GROUNDING AS WELL AS SYSTEM (SERVICE) AND DISTRIBUTION GROUNDING. PROVIDE ADDITIONAL SPECIFIC PROVISIONS AS INDICATED, INCLUDING GROUND CONNECTIONS. PROVIDE THESE INSTALLATIONS TO ELECTRICAL SAFETY CODE REGULATIONS. COLLECT ALL GROUNDING CONNECTIONS AT A COMMON POINT WHICH IN TURN IS CONNECTED TO THE MAIN SERVICE GROUND.
- ARRANGE GROUNDS SUCH THAT UNDER NORMAL OPERATION CONDITIONS CURRENT FLOW IN ANY GROUND CONDUCTOR IS NOT OBJECTIONABLE AND WILL NOT HARM PERSONNEL OR EQUIPMENT. ARRANGE SERVICE GROUNDS AND DISTRIBUTIONS GROUND RESISTANCE READINGS WITHIN VALUES REQUIRED BY THE ELECTRICAL SAFETY CODE.

FIELD QUALITY CONTROL

- CAREFULLY CHECK WIRING FOR EACH SYSTEM TO ENSURE THAT THE SYSTEM WILL FUNCTION PROPERLY AS INDICATED BY WIRING AND SCHEMATIC DIAGRAMS AND DESCRIPTION OF OPERATION.
- TEST THE ELECTRICAL INSTALLATION FOR PROPER AND SAFE OPERATION IN ACCORDANCE WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.
- REPLACE COMPONENTS DAMAGED DURING TESTING AT NO ADDITIONAL COST TO THE OWNER.
- MEGGER ALL POWER CIRCUITS 600V AND ABOVE.
- INSTRUCT OWNER OR OWNER'S REPRESENTATIVE IN OPERATION OF SYSTEMS.

ELECTRICAL LEGEND	
LIGHTING	
	POLE MOUNTED LIGHT FIXTURE
POWER SYSTEMS	
	PAD MOUNTED TRANSFORMER, ARROW INDICATES OPERATING SIDE (DIRECTION OF APPROACH)
	ROAD CROSSING DUCT BANK (X DENOTE NUMBER OF STREET LIGHT DUCTS)
	LIGHTING PEDESTAL
	GROUND
LINETYPES	
	PROPERTY LINE
	SECONDARY CABLE
	EMPTY CONDUIT
ABBREVIATIONS	
MH	MOUNTING HEIGHT



Town of Blue Mountains  
Planning and Development Services  
**Accepted For Construction**

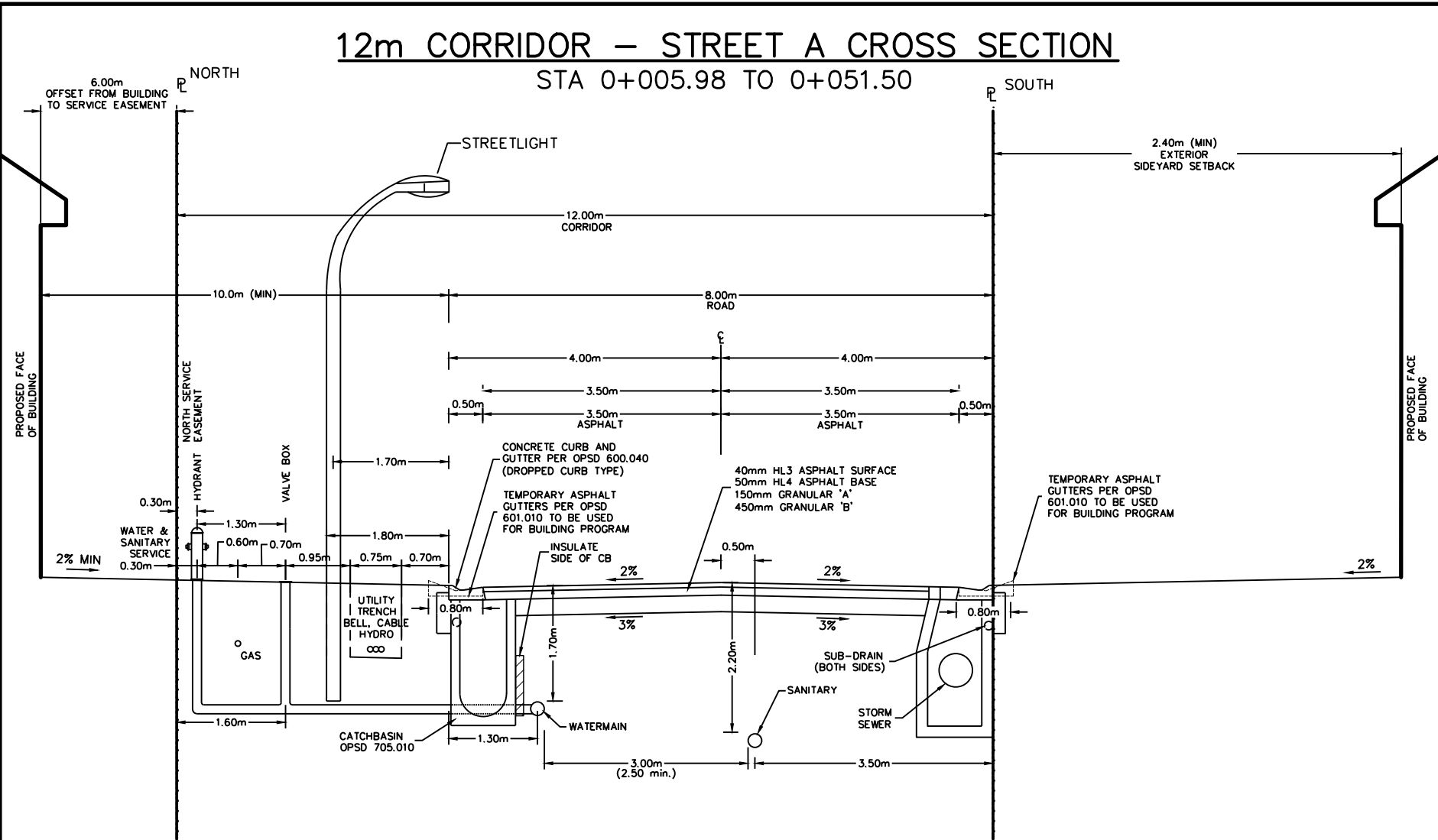
AFC Drawings are only valid as part and upon execution of a

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24-Oct-2023  
date

12m CORRIDOR – STREET A CROSS SECTION

STA 0+005.98 TO 0+051.50



NOTES:

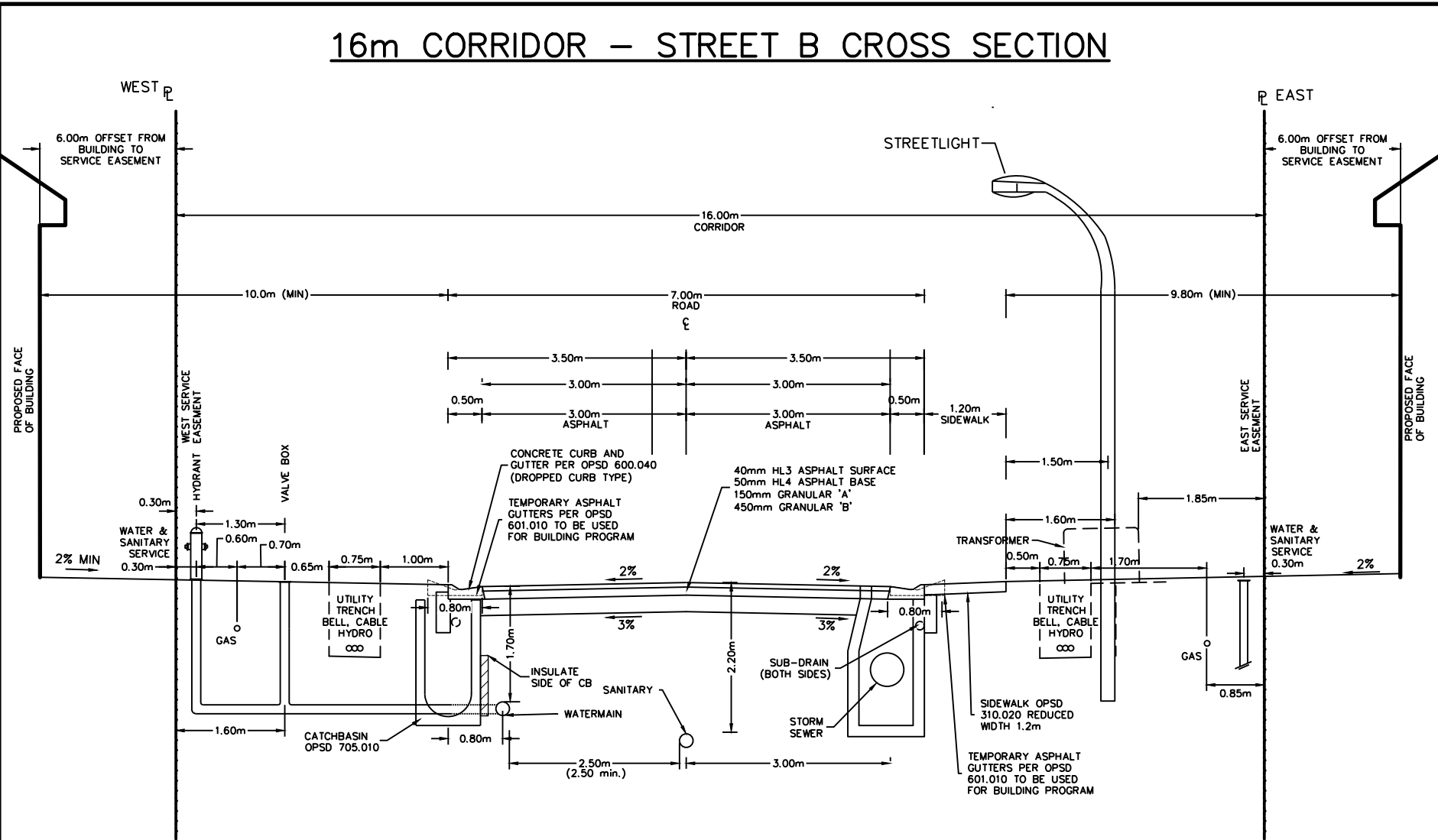
- TOPSOIL TO BE REMOVED TO ITS FULL DEPTH ALONG ENTIRE WIDTH OF ROAD ALLOWANCE BY CONTRACTOR.
- DEPTH FOR ALL UTILITIES: 0.9m MIN.
- SITE SPECIFIC TRANSFORMER LOCATIONS REQUIRED. CONSIDER EXPLOSION PROOF TRANSFORMERS WITH 1.0m SEPARATION TO BUILDING.
- PROVIDE INSULATION ON STORM/SANITARY STRUCTURES WHERE THERE IS LESS THAN 0.6m SEPARATION FROM WATERMAIN.
- ALL ROADWAYS TO BE DESIGNATED FIRE ROUTES.
- ASPHALT GUTTER PER OPSD 601.010 TO BE INSTALLED AS PART OF THE BASE COURSE ASPHALT WORKS. ASPHALT GUTTER TO BE REMOVED AND REPLACED WITH CONCRETE CURB AND GUTTER DURING SURFACE WORKS.

RIDGE ESTATES – BLOCK 38

8m COMMON ELEMENT  
TYPICAL ROAD STANDARD

SCALE: N.T.S. CHECKED:K.M./A.S. DATE: MAR 2019  
DRAWN: N.L. DRAWING: 8.0m ROW

16m CORRIDOR – STREET B CROSS SECTION



NOTES:

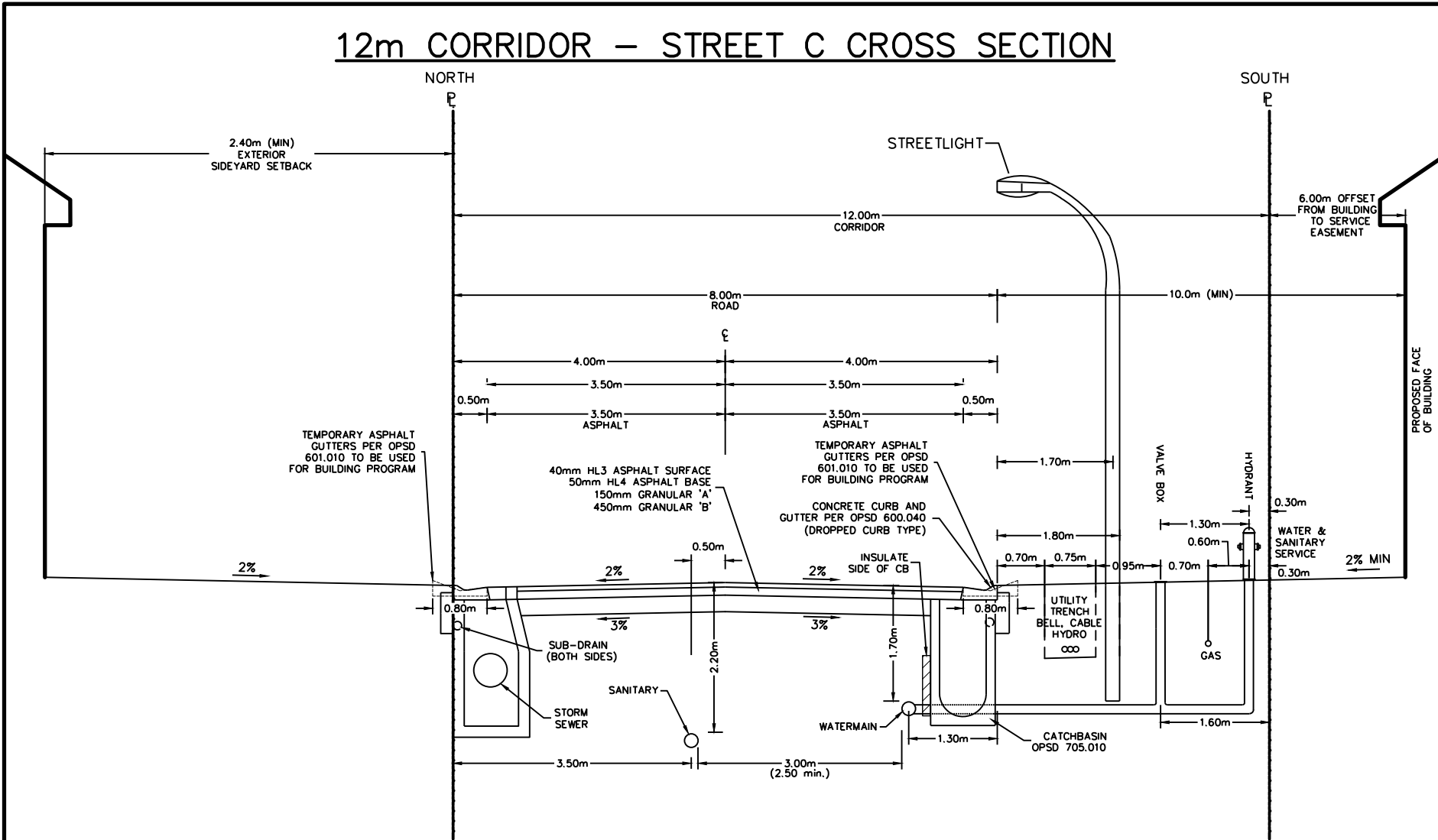
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RIDGE ESTATES – BLOCK 38

7m COMMON ELEMENT  
TYPICAL ROAD STANDARD

SCALE: N.T.S. CHECKED:K.M./A.S. DATE: MAR 2019  
DRAWN: N.L. DRAWING: 8.0m ROW

12m CORRIDOR – STREET C CROSS SECTION



NOTES:

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- ALL ROADWAYS TO BE DESIGNATED FIRE ROUTES.
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RIDGE ESTATES – BLOCK 38

8m COMMON ELEMENT  
TYPICAL ROAD STANDARD

SCALE: N.T.S. CHECKED:K.M./A.S. DATE: MAR 2019  
DRAWN: N.L. DRAWING: 8.0m ROW

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Town

No. ISSUE

DATE:MM/DD/YYYY

Engineer

Project

Drawing

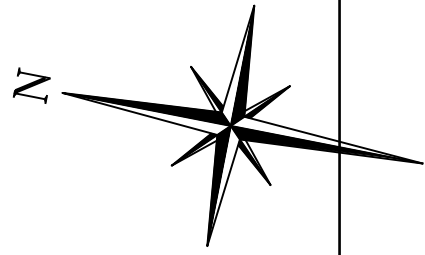
RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS

ELECTRICAL LEGEND, DRAWING LIST & TYPICAL  
ROAD STANDARD



Drawn By T.S.D. Design By T.S.D./P.W. Project 1019-5984  
Check By P.W. Scale N.T.S. Drawing E001

ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA



Town of Blue Mountains  
Planning and Development Services  
**Accepted For Construction**

AFC Drawings are only valid as part and upon execution of a  
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24-Oct-2023  
date

SITE PLAN – PHOTOMETRIC

SCALE:

STATISTICS SCHEDULE					
DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MIN
STREET A & STREET B INTERSECTION	X	1.0 fc	2.6 fc	0.2 fc	4.9:1
STREET B & STREET C INTERSECTION	X	1.2 fc	2.8 fc	0.3 fc	3.9:1
STREET A	+	0.9 fc	1.9 fc	0.3 fc	3.0:1
STREET B	+	0.6 fc	1.9 fc	0.1 fc	6.0:1
STREET C	+	0.9 fc	1.9 fc	0.2 fc	4.3:1
STREET A SIDEWALK	*	0.3 fc	0.4 fc	0.1 fc	2.7:1
STREET B SIDEWALK	*	0.4 fc	1.2 fc	0.1 fc	4.2:1



LUMINAIRE SCHEDULE							
SYMBOL	LABEL	MANUFACTURER	CATALOG NUMBER	LIGHT LOSS FACTOR	MOUNTING HEIGHT	WATTAGE	DESCRIPTION
—○—	A	KING LUMINAIRE	K823-P4FL-II-25(SSL)-8060-120-277V-KPL20-3K	0.85	MOUNTED AT 7.1m	25W	K823 FALCONRIDGE SR. LED STYLE LUMINAIRE, 25W, WITH TYPE II DISTRIBUTION, 3000K, C/W LONG LIFE PHOTOCCELL.CATALOGUE NO: K823-P4FL-II-25(SSL)-8060-120:277-KPL20-PR-3K. MOUNTED ON STRESSCRETE 9.1m (30') OCTOGONAL CONCRETE POLE C/W 1.8m (6') KA32 PIPE ARM. CATALOGUE NO: E260-APO-G-E11 S/F KA32-S-6'
—○—	A1	KING LUMINAIRE	K823-P4FL-II-40(SSL)-8060-120-277V-KPL20-3K	0.85	MOUNTED AT 7.1m	40W	K823 FALCONRIDGE SR. LED STYLE LUMINAIRE, 40W, WITH TYPE II DISTRIBUTION, 3000K, C/W LONG LIFE PHOTOCCELL.CATALOGUE NO: K823-P4FL-II-40(SSL)-8060-120:277-KPL20-PR-3K. MOUNTED ON STRESSCRETE 9.1m (30') OCTOGONAL CONCRETE POLE C/W 1.8m (6') KA32 PIPE ARM. CATALOGUE NO: E260-APO-G-E11 S/F KA32-S-6'

THE FOLLOWING NOTATIONS APPLY TO ALL LUMINAIRES IN SCHEDULE, UNLESS OTHERWISE NOTED:

1. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE PHOTOCELLS AS REQUIRED. COORDINATE EXACT LOCATION & REQUIREMENTS WITH LIGHT MANUFACTURER.

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4. DO NOT SCALE THE DRAWINGS.
5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

Town

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2	** NOT ISSUED FOR THIS SUBMISSION **	OCT/22/2021
3	ISSUED FOR 2nd SUBMISSION	DEC/22/2021
4	ISSUED FOR 3rd SUBMISSION	MAY/27/2022
5	ISSUED FOR TENDER	JUN/06/2022
6	ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	SEP/19/2022
7	RE-ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	NOV/28/2022
8	ISSUED FOR CONSTRUCTION	AUG/29/2023
9	ISSUED FOR SUBDIVISION AGREEMENT	OCT/13/2023

Engineer

Engineer

Project

RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS

Drawing

SITE PLAN – PHOTOMETRIC



ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By	T.S.D.	Design By	T.S.D./P.W.	Project	1019-5984
Check By		Check By	P.W.	Scale	1:500
				Drawing	E100



### K823 FALCONRIDGE SR. - LED

The K823 Falconridge Sr. is a sleek, shrouded fixture designed to increase roadway performance while providing superior spacing. Suitable for off roadway applications as well, this time-less design can be used in both contemporary and historical settings. A 3/4 scaled version of this fixture is also available.

#### PRODUCT SPECIFICATIONS

##### LED ENGINE

Light engine shall include an array of 60 or 84 solid state Cree X-Series high power LEDs (right emitting diodes). The emitters shall be mounted to a metal core circuit board using SMT technology. The LEDs and circuit boards shall then be mounted to a high performance heat sink which is vented to the outside ambient air to provide dynamic airflow for cooling the system.

##### OPTICS

External light control shall consist of high precision refractive lenses mounted above the LED emitter arrays in such a way to achieve optimum uplight control. The lenses shall also control horizontal light distribution so that Type II, III, IV or V IESNA distribution patterns are achieved.

##### LENS

The K823 Falconridge Sr. part is available without a lens. Lens options include: clear sag glass lens, clear shallow glass lens, rippled acrylic deep dish lens or rippled glass deep dish lens. The sag and shallow glass lens shall be made of 8000 csi borosilicate glass (fully annealed). It shall maintain a minimum thickness of 0.3". The rippled acrylic deep dish globe shall be moulded of acrylic. Acrylic Plus Acrylic, Polymer, or equivalent, having a minimum thickness of 0.09". The rippled glass deep dish lens shall be made of clear borosilicate glass (fully annealed) with a rippled pattern. It shall maintain a minimum thickness of 0.25". The lens is secured by means of a cast aluminum holding ring. Additionally, a continuous circular gasket rated for 270°F will assist in sealing the lens and provide an IP66 ingress rating.

##### LUMINAIRE CONSTRUCTION

The luminaire shall consist of an aluminum alloy housing that acts as the enclosure for the engine and is of adequate thickness to give structural rigidity. The engine must be affixed to the inside of the housing with stainless steel screws.

##### LUMEN MAINTENANCE

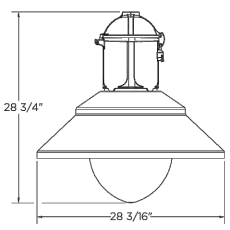
Reported (TM20) and Calculated (LT0) reports are available upon request with a minimum calculated value of 100,000 hrs.

##### WIRING

All internal wiring and connections shall be completed so that



**King Luminaire**



##### CERTIFICATION:

CSA US Listed  
Suitable for wet locations  
ISO 9001  
IP66  
ARRA Compliant  
LM79 / LM80 Compliant

##### DRIVER INFO:

<93 Power Factor  
<2% Total Harmonic Distortion  
120 - 277V or 347 - 480V  
40°C Max. Case Temperature  
70°C Max. Case Temperature  
Surge Protection ANSI C136.2  
extreme level 20kV/100A  
Dimming Capable 1-10vdc

##### EPA:

Flat Lens: 161 sq. ft.  
Sag Lens: 171 sq. ft.  
Shallow Lens: 203 sq. ft.  
Deep Dish Acrylic: 248 sq. ft.  
Deep Dish Glass: 248 sq. ft.

##### PHOTOMETRICS

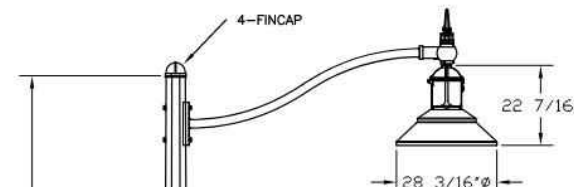
Fixtures are tested to IESNA LM79 specifications. These reports are available upon request.

##### CHROMATICITY

High output LEDs come standard at 3000K & 4000K (+/- 300K) with a minimum nominal 70 CRI. Additional CCT emitters are available upon request.



Contact King Luminaire for product specifications and how we exceed the IESNA requirements  
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REV.	ALTERATION	DATE	BY
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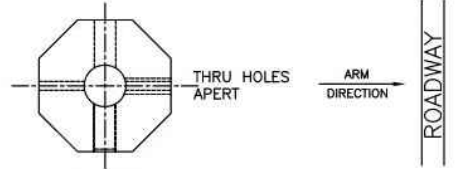
TYPE: A

**LUMINAIRE SPECIFICATIONS**  
CATALOGUE NO: K823-P4FL-II-25(SSS)-8060  
-120277-3K S/F KPL20-PR7-#5  
QUANTITY: 1  
OPTICAL SYSTEM: FLAT ARRAY FLAT LENS  
IES CLASS: TYPE II  
VOLTAGE: 25W (SOLID STATE LIGHTING)  
SERIES: 8060  
CCT: 3000K  
LINE VOLTAGE: 120/277V  
PAINT: TEXTURED BLACK  
OPTIONS: S/F KPL20 LEVELING DEVICE

**ARM SPECIFICATIONS**  
CATALOGUE NO: KA32-S-1-6'-KPL20-PR7-#5 FINAL  
QUANTITY: 1  
MATERIAL: ALUMINUM  
PAINT: TEXTURED BLACK  
OPTIONS: C/W KPL20 LEVELLING DEVICE  
#5, TWISTLOCK RECEPTACLE (PHOTO-EYE BY OTHERS)

**POLE SPECIFICATIONS**  
CATALOGUE NO: E300-RPD-G-S11  
QUANTITY: 1  
SECTION: OCTAGONAL  
COLOR: ECURSE  
FINISH: POLISHED  
POLE TOP: 5 3/8" FL/FL  
POLE BUTT: 9 1/8" FL/FL  
POLE LENGTH: 30' 0"  
APPROX. WEIGHT: 1,310 lbs.  
MIN. RACEWAY: 1 1/8" Ø

**COATINGS REQUIRED:**  
-2 COATS ACRYLIC  
FULL LENGTH



H.H. BOX NAMEPLATE THRU APERTURE  
TOP VIEW

CUSTOMER APPROVAL & DATE:

	<b>King Luminaire • Stresscrete • Est. 1953</b> <b>STRESSCRETE GROUP</b>	<b>Manufacturing Locations:</b> Burlington, Ontario 1-800-268-7809 Northport, Alabama 1-800-435-6563 Atchison, Kansas 1-800-837-1024 Jefferson, Ohio 1-800-268-7809
--	-----------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

PROJECT/CUSTOMER: RIDGE ESTATES BLOCK 38			
DRAWN BY: AT	CHECKED BY:	DATE:	REVISION:
GR	SC1	11/23/21	
DRAWING TYPE: CONCEPT DWG.	DRAWING NUMBER: Q-2111075-1		

**Notes:**  
Stresscrete makes no claims that the reference embedment depth shown is suitable for supporting this structure. It is recommended that a competent professional evaluate the soils present on site, confirming required embedment depth, hole diameter and backfill material to be used.

REV.	ALTERATION	DATE	BY
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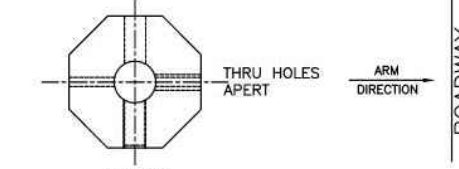
TYPE: A1

**LUMINAIRE SPECIFICATIONS**  
CATALOGUE NO: K823-P4FL-II-40(SSS)-8060  
-120277-3K S/F KPL20-PR7-#5  
QUANTITY: 1  
OPTICAL SYSTEM: FLAT ARRAY FLAT LENS  
IES CLASS: TYPE II  
VOLTAGE: 40W (SOLID STATE LIGHTING)  
SERIES: 8060  
CCT: 3000K  
LINE VOLTAGE: 120/277V  
PAINT: TEXTURED BLACK  
OPTIONS: S/F KPL20 LEVELING DEVICE

**ARM SPECIFICATIONS**  
CATALOGUE NO: KA32-S-1-6'-KPL20-PR7-#5 FINAL  
QUANTITY: 1  
MATERIAL: ALUMINUM  
PAINT: TEXTURED BLACK  
OPTIONS: C/W KPL20 LEVELLING DEVICE  
#5, TWISTLOCK RECEPTACLE (PHOTO-EYE BY OTHERS)

**POLE SPECIFICATIONS**  
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-2 COATS ACRYLIC  
FULL LENGTH



H.H. BOX NAMEPLATE THRU APERTURE  
TOP VIEW

CUSTOMER APPROVAL & DATE:

	<b>King Luminaire • Stresscrete • Est. 1953</b> <b>STRESSCRETE GROUP</b>	<b>Manufacturing Locations:</b> Burlington, Ontario 1-800-268-7809 Northport, Alabama 1-800-435-6563 Atchison, Kansas 1-800-837-1024 Jefferson, Ohio 1-800-268-7809
--	-----------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

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DRAWN BY: AT	CHECKED BY:	DATE:	REVISION:
GR	SC1	11/23/21	
DRAWING TYPE: CONCEPT DWG.	DRAWING NUMBER: Q-2111075-2		

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## Town of Blue Mountains Planning and Development Services Accepted For Construction

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24-Oct-2023  
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6	ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	SEP/19/2022
7	RE-ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	NOV/28/2022
8	ISSUED FOR CONSTRUCTION	AUG/29/2023
9	ISSUED FOR SUBDIVISION AGREEMENT	OCT/13/2023

Engineer

Engineer

Project

RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS

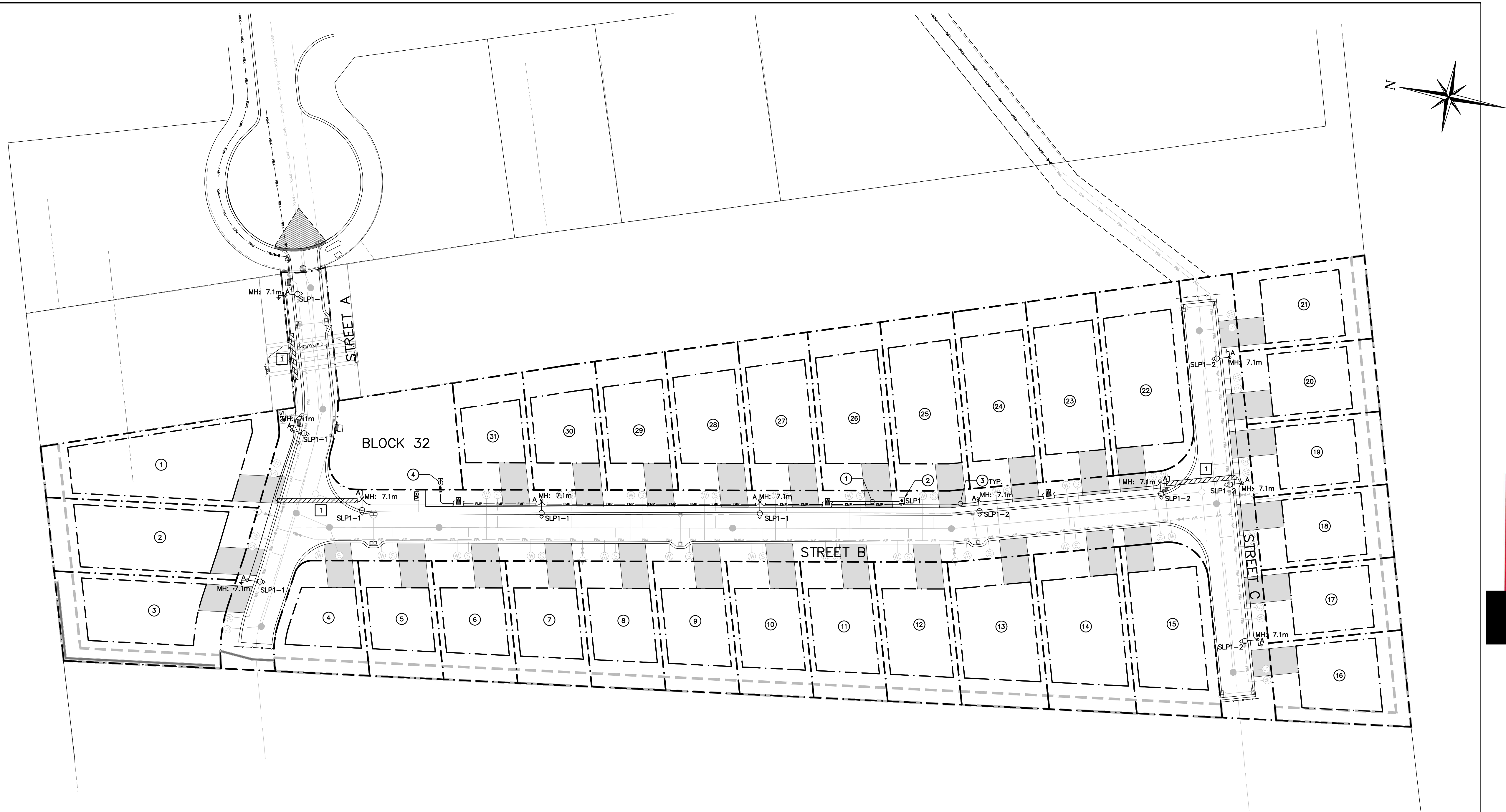
Drawing

SITE LIGHTING DETAILS



ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By	T.S.D.	Design By	T.S.D./P.W.	Project	1019-5984
Check By		Check By	P.W.	Scale	N.T.S.
				Drawing	E101



SITE PLAN – ELECTRICAL  
SCALE: 1:500



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Town

No.	ISSUE	DATE: MMM/DD/YYYY
2	** NOT ISSUED FOR THIS SUBMISSION **	OCT/22/2021
3	ISSUED FOR 2nd SUBMISSION	DEC/22/2021
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Engineer  
[Redacted Signature]

Project  
RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS  
Drawing  
SITE PLAN – ELECTRICAL



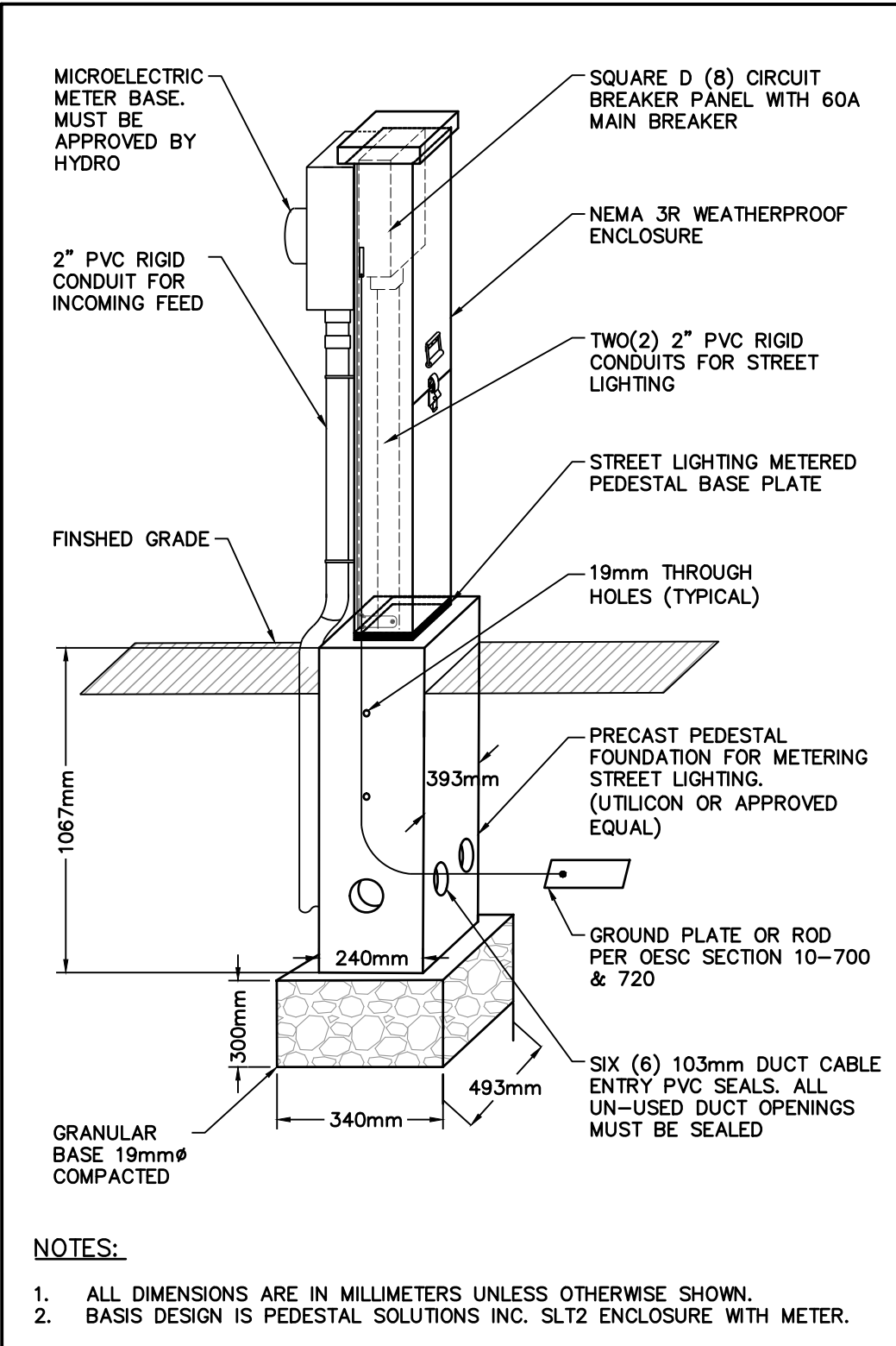
- GENERAL NOTES:
1. SUPPLY AND INSTALL MUNICIPAL STREET LIGHTING IN JOINT TRENCH WITH POWER, TELEPHONE AND CABLE UTILITY IN CONFORMANCE WITH THE TOWNSHIP OF BLUE MOUNTAINS, BACKFILL TO MUNICIPAL STANDARD TO MATCH EXISTING OR BETTER. ALL WORK DONE TO OESC STANDARDS (LATEST EDITION).
  2. ELECTRICAL CONTRACTOR SHALL SUPPLY SECONDARY CABLES AND PROVIDE CONNECTION TO THE STREET LIGHTING PEDESTAL, HYDRO ONE TO PROVIDE TERMINATION AT THE TRANSFORMER. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH HYDRO ONE.
  3. ALL ROAD CROSSINGS ARE TO BE TO HYDRO ONE AND MUNICIPAL STANDARDS.
  4. SUPPLY AND INSTALL GROUND ROD AT EVERY 5TH AND THE LAST STREET LIGHTING POLE ON EVERY CIRCUIT AND COND TO THE POLES INTERNAL GROUND.
- DRAWING NOTES:
- 1 PROVIDE 100mm CONDUIT IN DUCTBANK AS SHOWN.
  - 2 PROVIDE METERED STREET LIGHTING PEDESTAL. REFER TO DRAWING E111 FOR MORE INFORMATION.
  - 3 PROVIDE 50mm CONDUIT IN DUCTBANK AS SHOWN
  - 4 PROVIDE EMPTY 50mm DB TYPE II CONDUIT C/W PULL ROPE AND CAP ENDS OF CONDUIT (FOR FUTURE ELECTRICAL OUTLET BY OTHERS).

Town of Blue Mountains  
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[Redacted Signature] 24 Oct 2023  
date



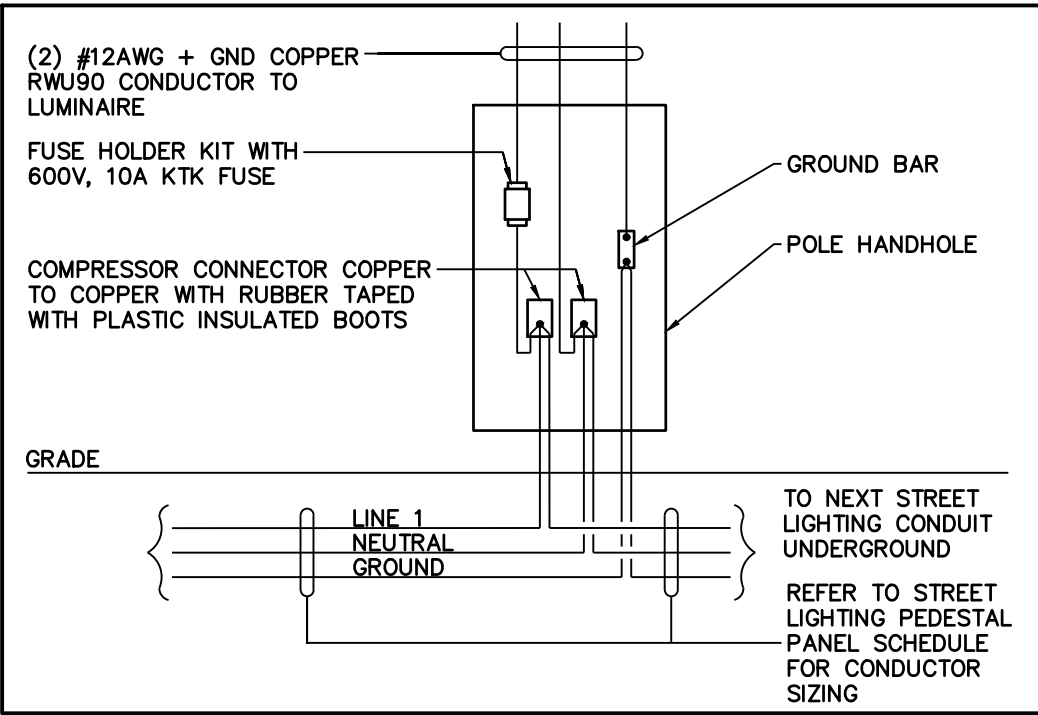
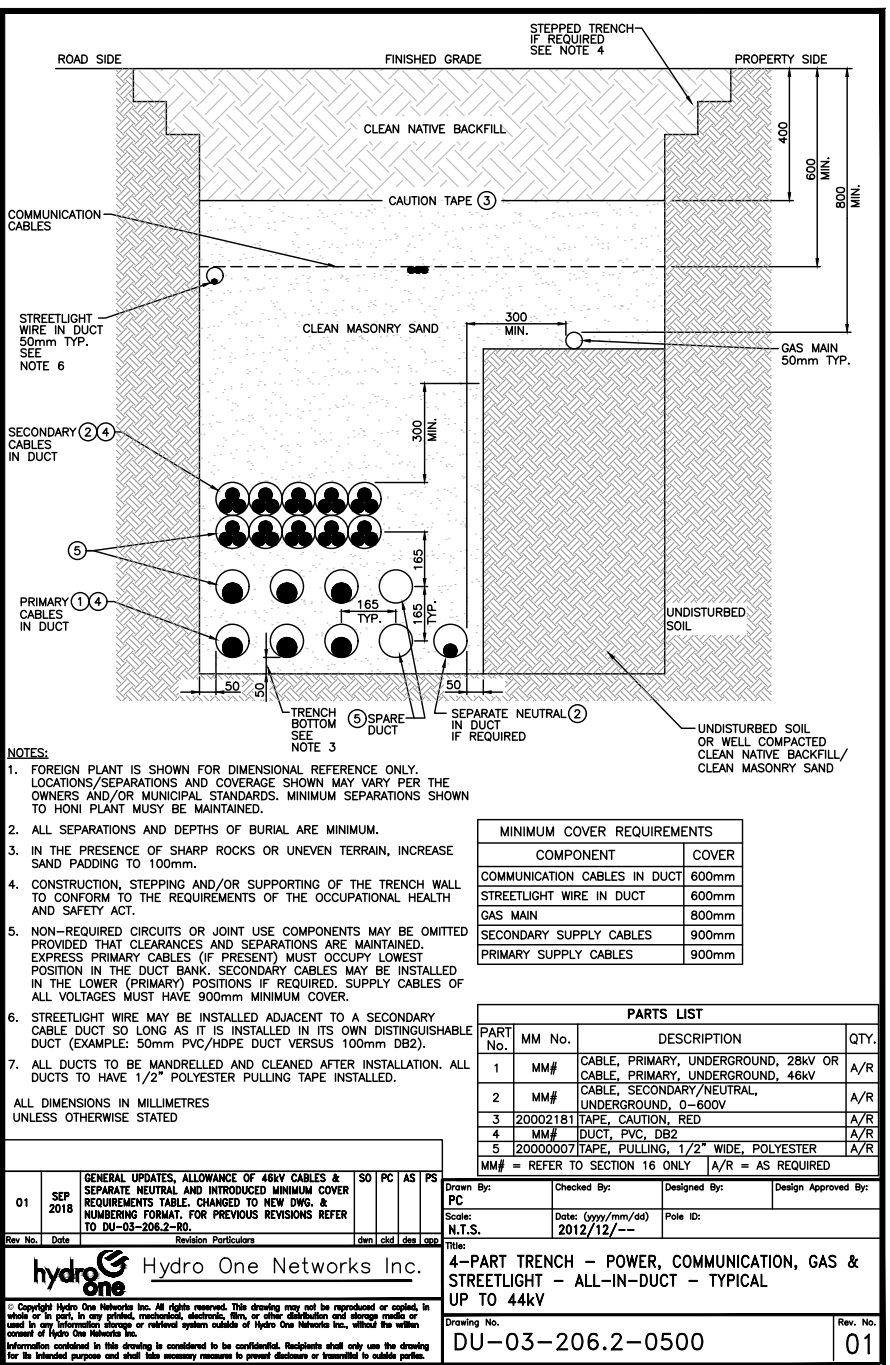
ADAMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
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Drawn By T.S.D. Design By T.S.D./P.W. Project 1019-5984  
Check By [Redacted] P.W. Scale 1:500 Drawing E110



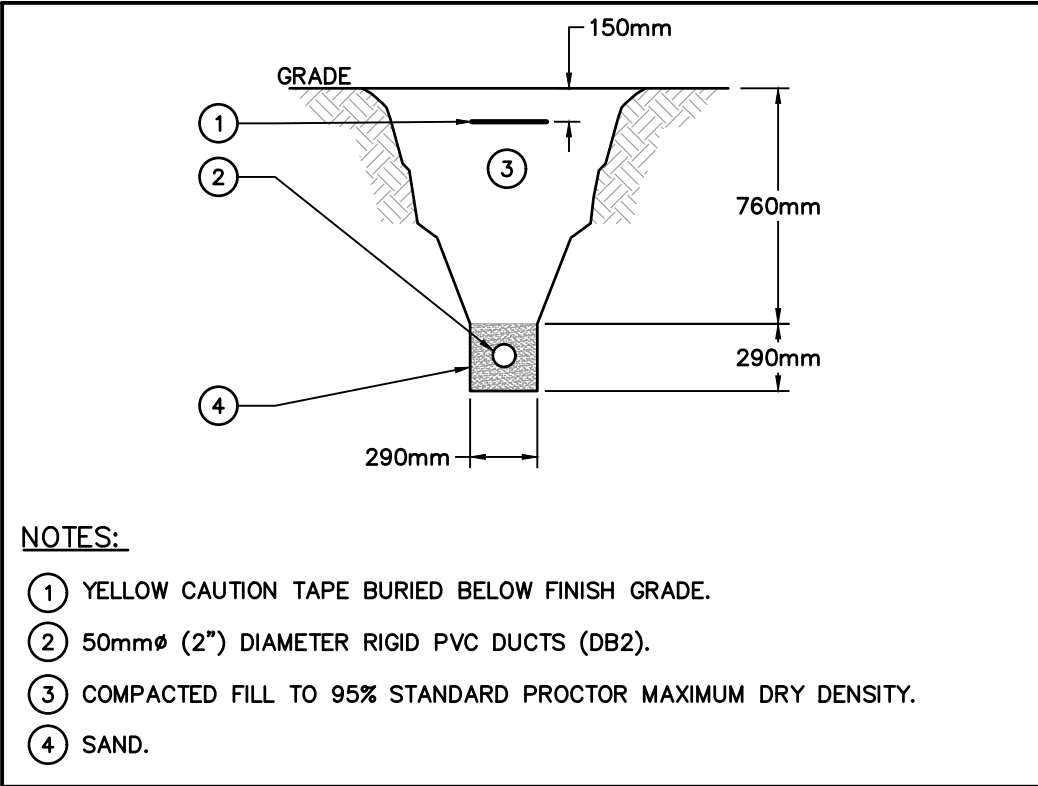
STREET LIGHTING PEDESTAL WITH METER SOCKET & PANEL DETAIL

SCALE: N.T.S.



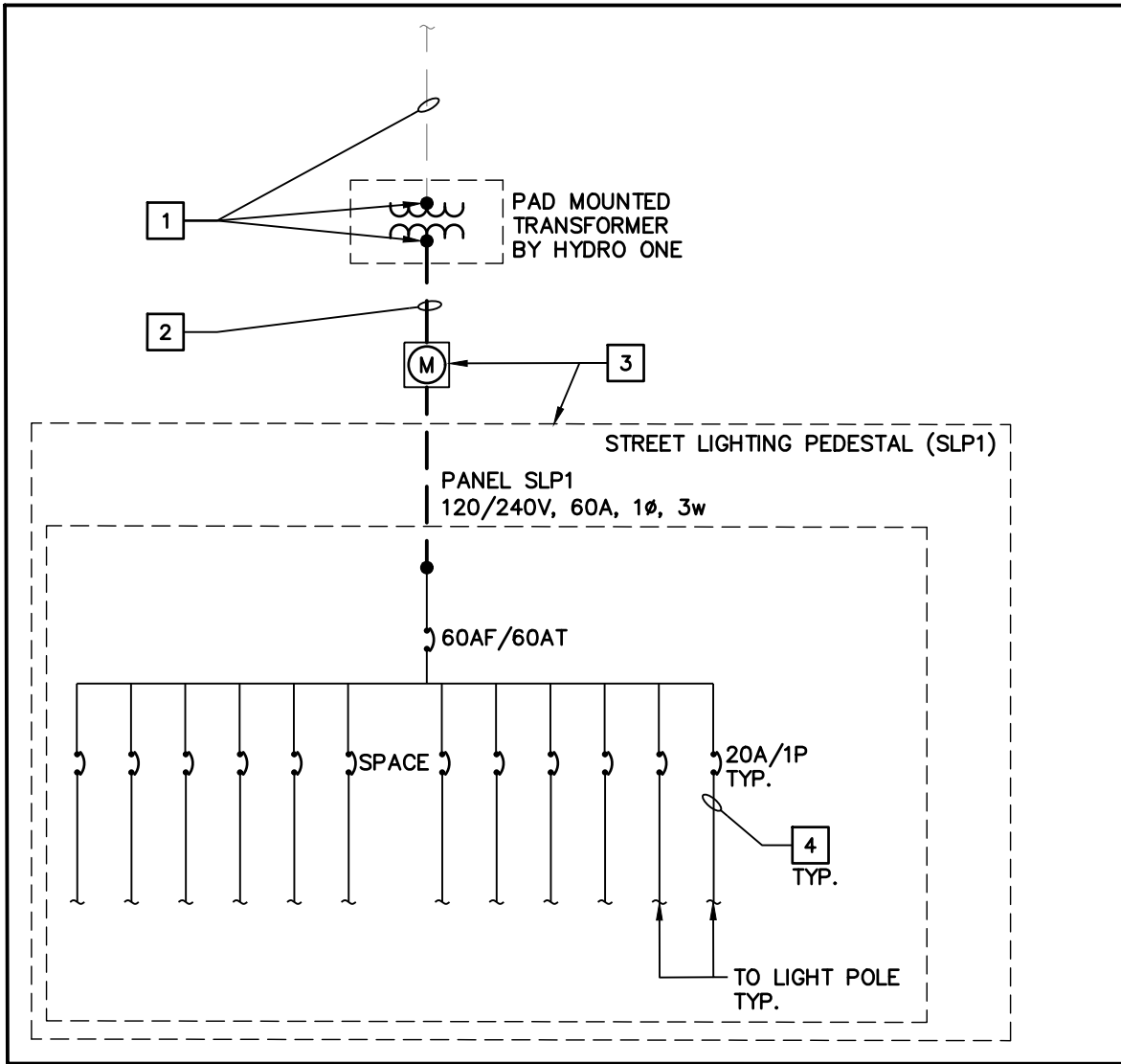
STREET LIGHTING WIRING DETAIL

SCALE: N.T.S.



TYPICAL DUCT BANK DETAIL FOR LIGHTING CABLES

SCALE: N.T.S.



SINGLE LINE DIAGRAM

SCALE: N.T.S.

SINGLE LINE DIAGRAM NOTES:

- HYDRO ONE SHALL SUPPLY PRIMARY CABLES & TERMINATE PRIMARY & SECONDARY CABLES AT TRANSFORMER. ELECTRICAL CONTRACTOR TO COORDINATE EXACT LOCATION & REQUIREMENTS WITH HYDRO ONE.
- PROVIDE THREE (3) #2 AWG + GND IN 100mm DUCT BANK. PROVIDE CONNECTION TO THE STREET LIGHTING PEDESTAL. LEAVE SUFFICIENT SECONDARY CABLE FOR HYDRO ONE TO MAKE SECONDARY TRANSFORMER TERMINATIONS.
- PROVIDE STREET LIGHTING PEDESTAL, 60A MAIN CIRCUIT BREAKER, 120/240V, 2 POLE WITH SIX (6) 20A BRANCH CIRCUITS c/w METER BASE, 22kAIC, PEDESTAL SOLUTIONS INC.. HYDRO ONE TO INSTALL THE HYDRO METER.
- PROVIDE TWO (2) #8 AWG + GND IN 50mm DUCT BANK.

STREET LIGHTING PEDESTAL (SLP1) 120/240V, 1Ø, 3 WIRE, 60 AMP MAIN CIRCUIT BREAKER, 22kAIC												
CCT	DESCRIPTION	VOLT AMPERES	POLE	AMP	WIRE SIZE (REFER TO SLD)		AMP	POLE	VOLT AMPERES	DESCRIPTION	CCT	
1	STREET A & C LIGHTING	165	1	20	8 AWG		8 AWG	20	1	140	STREET B & C LIGHTING	2
3	SPARE		1	20	8 AWG		8 AWG	20	1		SPARE	4
5	SPARE		1	20	8 AWG		8 AWG	20	1		SPARE	6
7	SPACE										SPACE	8
9	SPACE										SPACE	10
11	SPACE										SPACE	12
SUB-TOTAL (kVA)		0.165							0.14			
GRAND TOTAL (kVA)		0.305	DEMAND FACTOR	100%			ESTIMATED DEMAND LOAD (kVA, A)	0.305	1.27			

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Engineer

Engineer

Project

RIDGE ESTATES BLOCK 38  
TOWN OF THE BLUE MOUNTAINS

Drawing

SITE ELECTRICAL DETAILS

ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By T.S.D. Design By T.S.D./P.W. Project 1019-5984

Check By P.W. Scale N.T.S. Drawing E111

- NOTES:
- FOR GENERAL HARDSCAPE NOTES, REFER TO NOTES ON DRAWING LD-1.
  - FOR GENERAL PLANTING NOTES, REFER TO NOTES ON DRAWING LD-2.
  - MINIMUM CLEARANCES FOR TREES ARE AS FOLLOWS:

MINIMUM TREE CLEARANCES	
FIRE HYDRANT	3.0m
DRIVEWAYS	2.0m
HYDRO TRANSFORMERS	3.0m
BELL OR CABLE PEDESTALS	1.0m
STREETLIGHT POLES	5.0m
UNDERGROUND SERVICES	1.0m

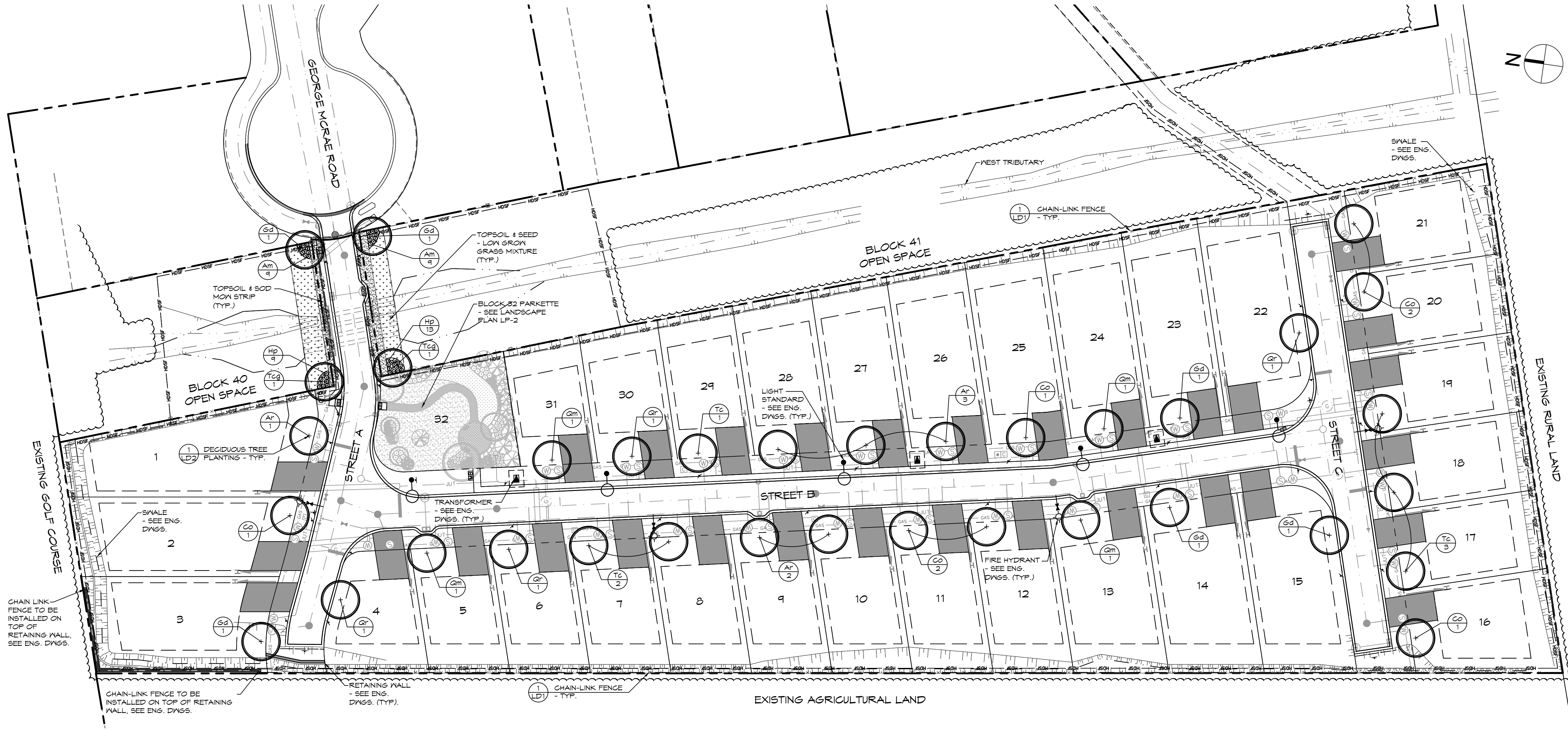


- LEGEND
- PROPERTY BOUNDARY
  - LOT BOUNDARY
  - EDGE OF VEGETATION TO BE RETAINED AND PROTECTED
  - SILT FENCE - SEE ENG. DWGS
  - FIRE HYDRANT - SEE ENG. DWGS
  - WATER VALVE - SEE ENG. DWGS
  - TRANSFORMER - SEE ENG. DWGS
  - LIGHT STANDARD - SEE ENG. DWGS
  - SIGN - SEE ENG. DWGS
  - UNDERGROUND SERVICES - SEE ENG. DWGS
  - SWALE OR DITCH - SEE ENG. DWGS
  - CHAIN-LINK FENCE
  - DECIDUOUS TREE
  - DECIDUOUS SHRUB
  - SPECIES
  - QUANTITY

**Town of Blue Mountains**  
Planning and Development Services  
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PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING	QTY
DECIDUOUS TREES						
Ar	Acer rubrum 'Bouhall'	Bouhall Maple	60mm cal.	V.B.		6
Co	Celtis occidentalis	Common Hackberry	60mm cal.	V.B.		7
Ed	Gymnocladus dioica	Kentucky Coffee Tree	60mm cal.	V.B.		6
Qm	Quercus macrocarpa	Bur Oak	60mm cal.	V.B.		4
Qr	Quercus rubra	Red Oak	60mm cal.	V.B.		4
Tc	Tilia cordata	Little-leaf Linden	60mm cal.	V.B.		6
Tcg	Tilia cordata 'Green Spire'	Green Spire Linden	60mm cal.	V.B.		2

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING	QTY
DECIDUOUS SHRUBS						
Am	Aronia melanocarpa	Black Chokeberry	40cm ht.	3 gal.	0.8m O.C.	18
Hp	Hypericum prolificum	Shrubby St. John's Wort	40cm ht.	3 gal.	0.8m O.C.	21

SEED MIX			
KEY	BOTANICAL NAME	COMMON NAME	%
OSC NATIVE PRAIRIE LOW GROW GRASS MIXTURE			
	Elymus canadensis	Canada Wild Rye	30%
	Poa palustris	Fowl Bluegrass	25%
	Schizachyrium scoparium	Little Blue Stem	15%
	Sporobolus cryptandrus	Sand Dropseed	30%
Cover crop to be Annual Rye Grass. Sow at 25 kg/ha (23 lbs/acre) or 50g/180 m² for smaller areas.			



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Town

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2	RE- ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	11/28/2022
3	ISSUED FOR SUBDIVISION AGREEMENT	10/13/2023

Landscape Architect

Landscape Architect

Project

**GEORGIAN RIDGE ESTATES**  
**TOWN OF THE BLUE MOUNTAINS, ON**

Drawing

**LANDSCAPE PLAN**  
**STREETSCAPE**

ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON, L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By  
A.M./N.S./R.B./K.O.

Design By  
A.P./K.V.

Project  
**1019-5984**

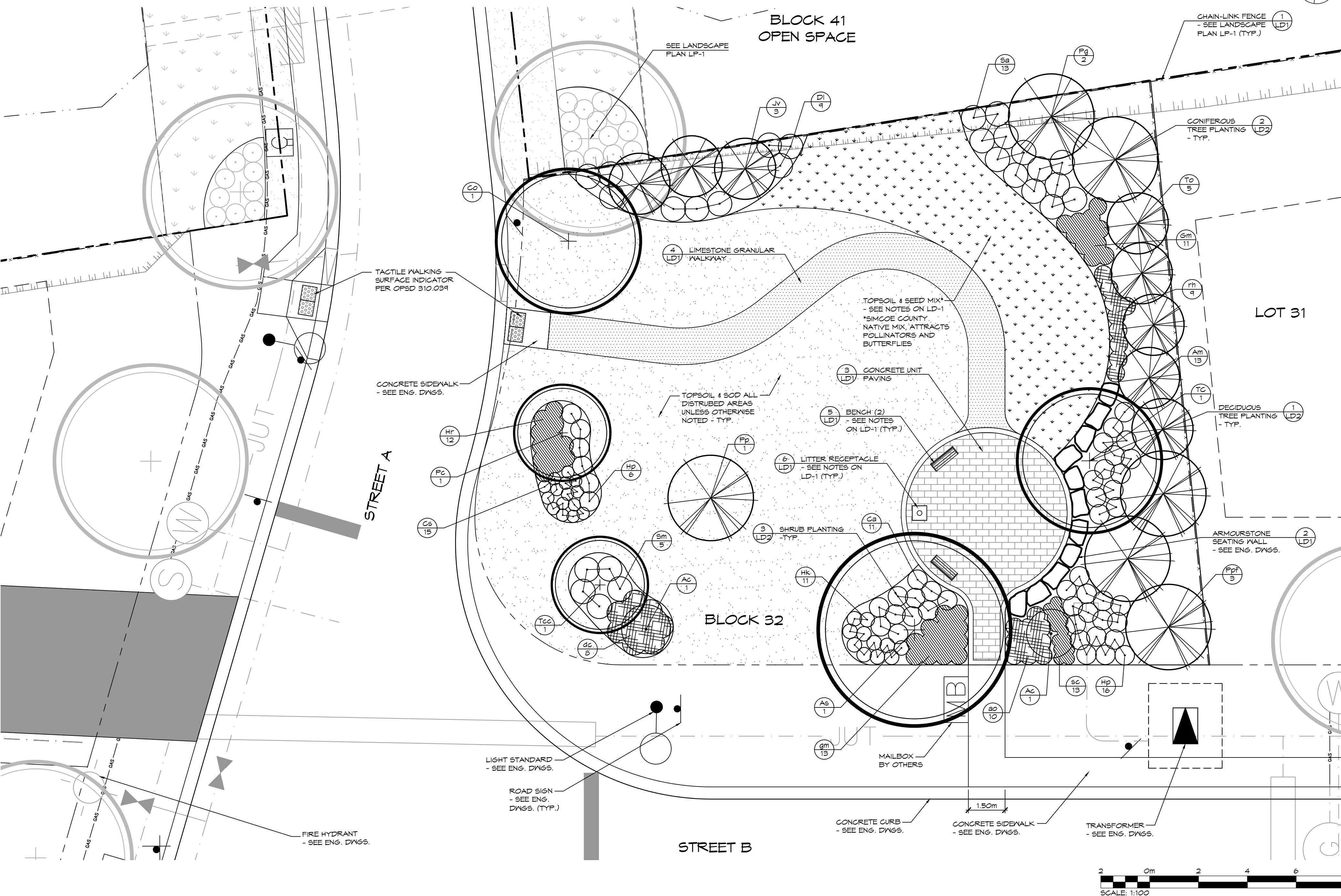
Check By  
A.P./K.V.

Scale  
1:500

Drawing  
**LP-1**

## LEGEND

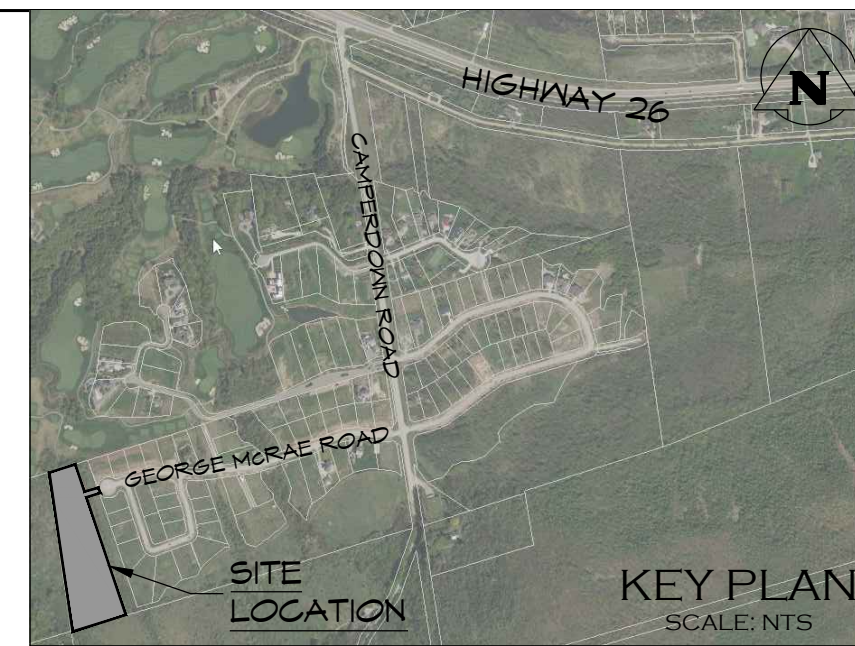
---	PROPERTY BOUNDARY	○	LITTER RECEPTACLE	●●●●	DECIDUOUS SHRUB	▨	TOPSOIL & SOD
---	LOT BOUNDARY	○	DECIDUOUS TREE	●●●●	CONIFEROUS SHRUB	▨	TOPSOIL & SEED MIX
---	UNDERGROUND SERVICES - SEE ENG. DWGS.	○	CONIFEROUS TREE	●●●●	PERENNIALS & GROUND COVERS	▨	GRANULAR TRAIL
---	SWALE OR DITCH - SEE ENG. DWGS.	○	CONIFEROUS TREE	●●●●	PLANT REFERENCE		
○	FIRE HYDRANT - SEE ENG. DWGS.	○	CONIFEROUS TREE	●●●●	PLANT REFERENCE		
○	WATER VALVE - SEE ENG. DWGS.	○	CONIFEROUS TREE	●●●●	PLANT REFERENCE		
○	TRANSFORMER - SEE ENG. DWGS.	○	CONIFEROUS TREE	●●●●	PLANT REFERENCE		
○	SIGN - SEE ENG. DWGS.	○	CONIFEROUS TREE	●●●●	PLANT REFERENCE		
○	LIGHT STANDARD - SEE ENG. DWGS.	○	CONIFEROUS TREE	●●●●	PLANT REFERENCE		
○	BENCH	○	CONIFEROUS TREE	●●●●	PLANT REFERENCE		



## NOTES:

- FOR GENERAL HARDSCAPE NOTES, REFER TO NOTES ON DRAWING LD-1.
- FOR GENERAL PLANTING NOTES, REFER TO NOTES ON DRAWING LD-2.
- MINIMUM CLEARANCES FOR TREES ARE AS FOLLOWS:

MINIMUM TREE CLEARANCES	
FIRE HYDRANT	3.0m
DRIVEWAYS	2.0m
HYDRO TRANSFORMERS	3.0m
BELL OR CABLE PEDESTALS	1.0m
STREETLIGHT POLES	5.0m
UNDERGROUND SERVICES	1.0m



BLOCK 32 - PARKETTE PLANT LIST									
DECIDUOUS TREES									
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	SPACING	REMARKS	
As	1	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	60mm		W.B.	As shown	Full crown	
Co	1	Celtis occidentalis	Common Hackberry	60mm		W.B.	As shown	Full crown	
Pc	1	Pyrus calleryana Chanticleer	Chanticleer Ornamental Pear	60mm		W.B.	As shown	Full crown	
Tc	1	Tilia cordata	Littleleaf Linden	60mm		W.B.	As shown	Full crown	
Tcc	1	Tilia cordata Corinthian ('Gorzam')	Corinthian Linden	60mm		W.B.	As shown	Full crown	
TOTAL	5								
CONIFEROUS TREES									
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	SPACING	REMARKS	
Jv	3	Juniperus virginiana	Eastern Red Cedar		200cm	W.B.	As Shown	Uncolipped	
Pg	2	Picea glauca	White Spruce		200cm	W.B.	As Shown	Uncolipped	
Pp	1	Picea pungens	Colorado Spruce		200cm	W.B.	As Shown	Uncolipped	
Ppf	3	Picea pungens 'Fat Albert'	Fat Albert Spruce		200cm	W.B.	As Shown	Uncolipped	
To	5	Pinus strobus	Eastern White Pine		200cm	W.B.	As Shown	Uncolipped	
TOTAL	14								
SHRUBS									
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	SPACING	REMARKS	
Ac	2	Amelanchier canadensis	Serviceberry/Shadblow		125cm	7 gal. pot	As Shown		
Am	13	Aronia melanocarpa	Black Chokeberry		60cm	2 gal. pot	0.8m	On Centre	
Ca	11	Clethra alnifolia 'Hummingbird'	Summersweet		40cm	2 gal. pot	0.8m	On Centre	
Cs	15	Cornus sericea 'Kelsey'	Kelsey Red-Osier Dogwood		40cm	3 gal. pot	0.5m	On Centre	
Di	4	Diervilla lonicera	Bush Honeysuckle		40cm	3 gal. pot	1.0m	On Centre	
HK	11	Hypericum kalmianum	Pot O' Gold		40cm	3 gal. pot	0.6m	On Centre	
Hp	22	Hypericum prolificum	Shrubby St. John's Wort		40cm	3 gal. pot	0.8m	On Centre	
Sa	13	Symphoricarpos albus	White Snowberry		50cm	3 gal. pot	1.0m	On Centre	
Sm	5	Syringa meyeri 'Palibari'	Dwarf Korean Lilac		50cm	3 gal. pot	1.0m	On Centre	
TOTAL	101								
GRASSES									
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	SPACING	REMARKS	
dc	8	Deschampsia cespitosa	Tufted Hair Grass			1 gal. pot	0.8m	On Centre	
TOTAL	8								
PERENNIALS									
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	SPACING	REMARKS	
ao	10	Aster obovatus	Sky Blue Aster			1 gal. pot	0.6m	On Centre	
gm	24	Geranium maculatum	Wild Geranium			1 gal. pot	0.6m	On Centre	
rh	4	Rudbeckia hirta	Glorious Daisy			1 gal. pot	0.6m	On Centre	
sc	13	Solidago caesia	Bluestem Goldenrod			1 gal. pot	0.4m	On Centre	
hr	12	Hemerocallis 'Rocket City'	Rocket City Daylily			1 gal. pot	0.6m	On Centre	
TOTAL	68								
SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT IN WRITING									

SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT IN WRITING

SEED MIX			
KEY	BOTANICAL NAME	COMMON NAME	%
OSC SIMCOE COUNTY NATIVE MIX			
✓	Andropogon scoparius	Little Bluestem	15%
✓	Asclepias syriaca	Common Milkweed	5%
✓	Aster laevis	Smooth Blue Aster	1%
✓	Aster novae-angliae	New England Aster	2%
✓	Elymus canadensis	Canada Wild Rye	20%
✓	Monarda fistulosa	Wild Bergamot	1%
✓	Rudbeckia hirta	Black Eyed Susan	12%
✓	Solidago canadensis	Canada Goldenrod	4%
✓	Sorghastrum nutans	Indiangrass	20%
✓	Sporobolus cryptandrus	Sand Drop Seed	20%

Cover crop to be Annual Oats. Sow at 25 Kg/ha (23 lbs/acre) or 500g/100 m² for smaller areas.

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Landscape Architect



Landscape Architect

Project

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TOWN OF THE BLUE MOUNTAINS, ON

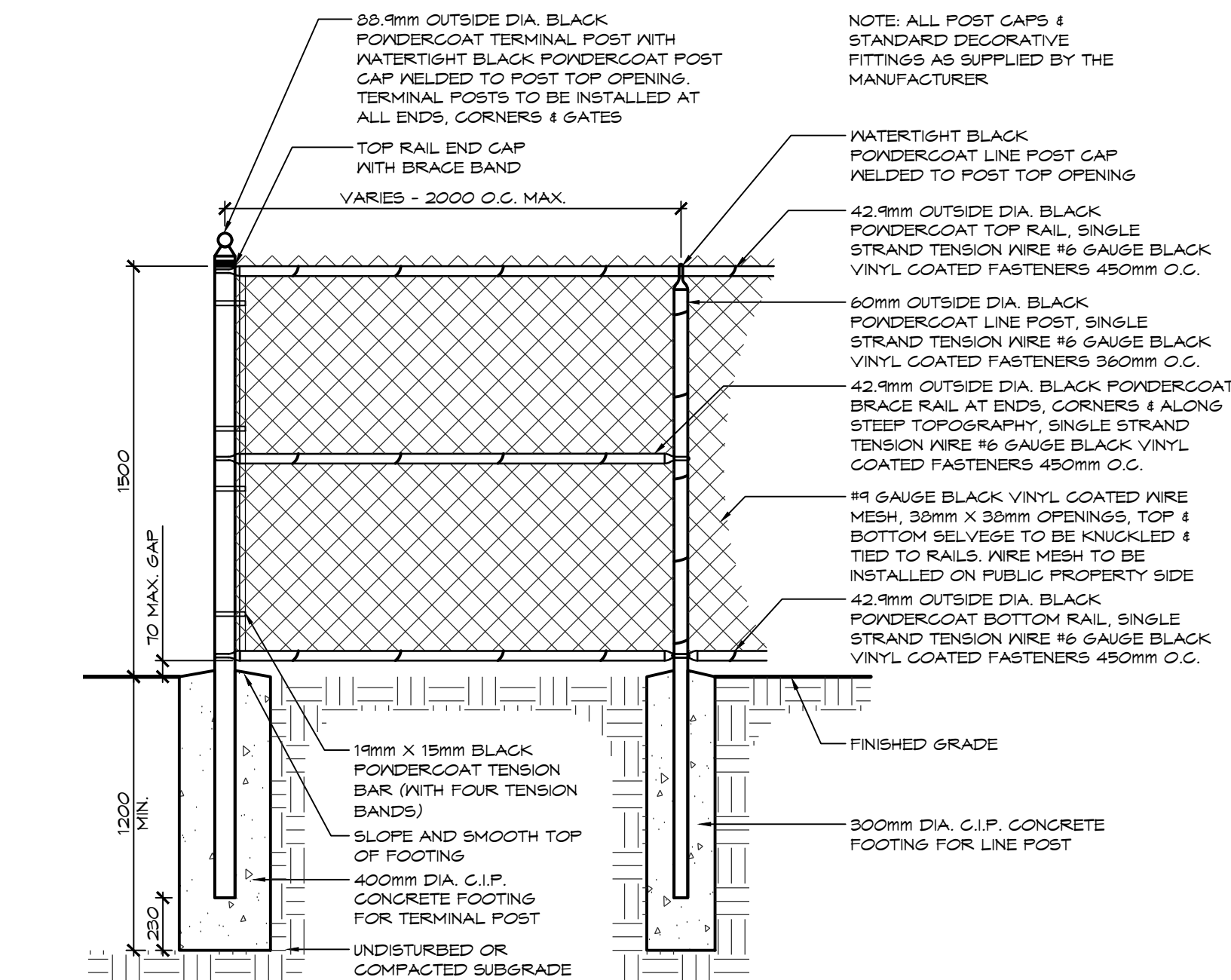
Drawing

LANDSCAPE PLAN  
BLOCK 32 PARKETTE

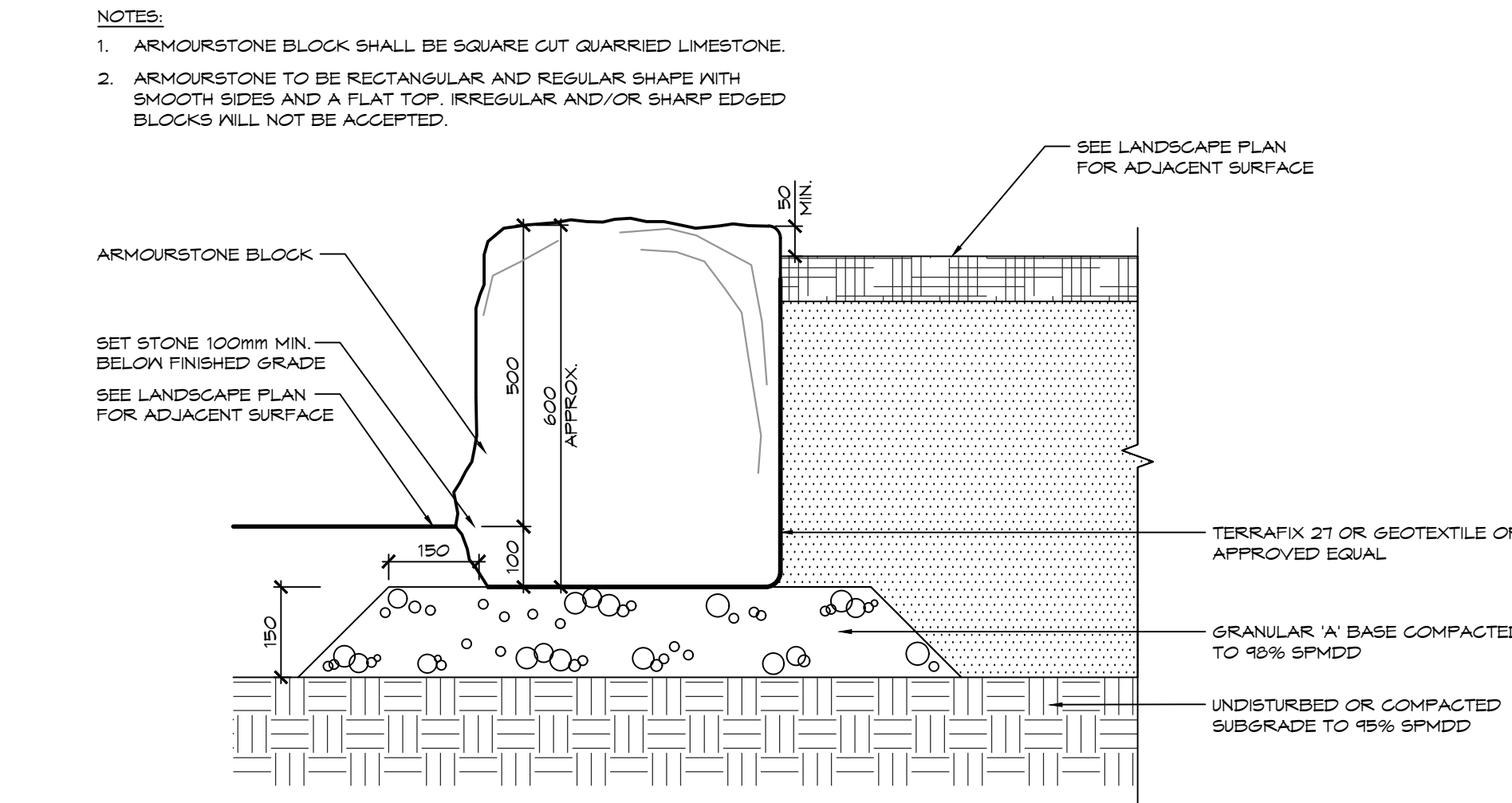


Drawn By A.M./N.S./R.B./K.C.	Design By A.P./K.N.	Project 1019-5984
Check By A.P./K.N.	Check By	Scale 1:100
		Drawing LP-2

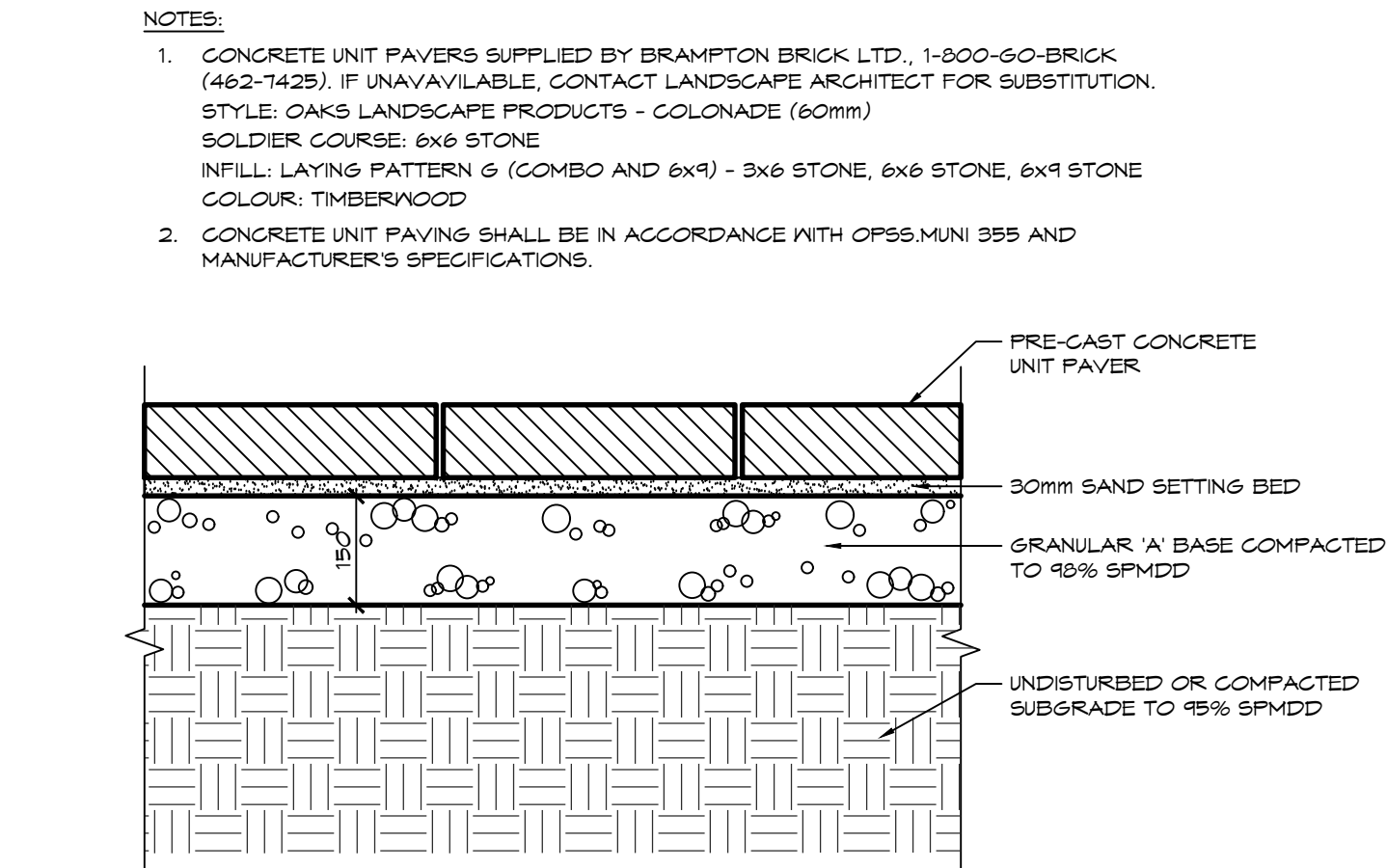
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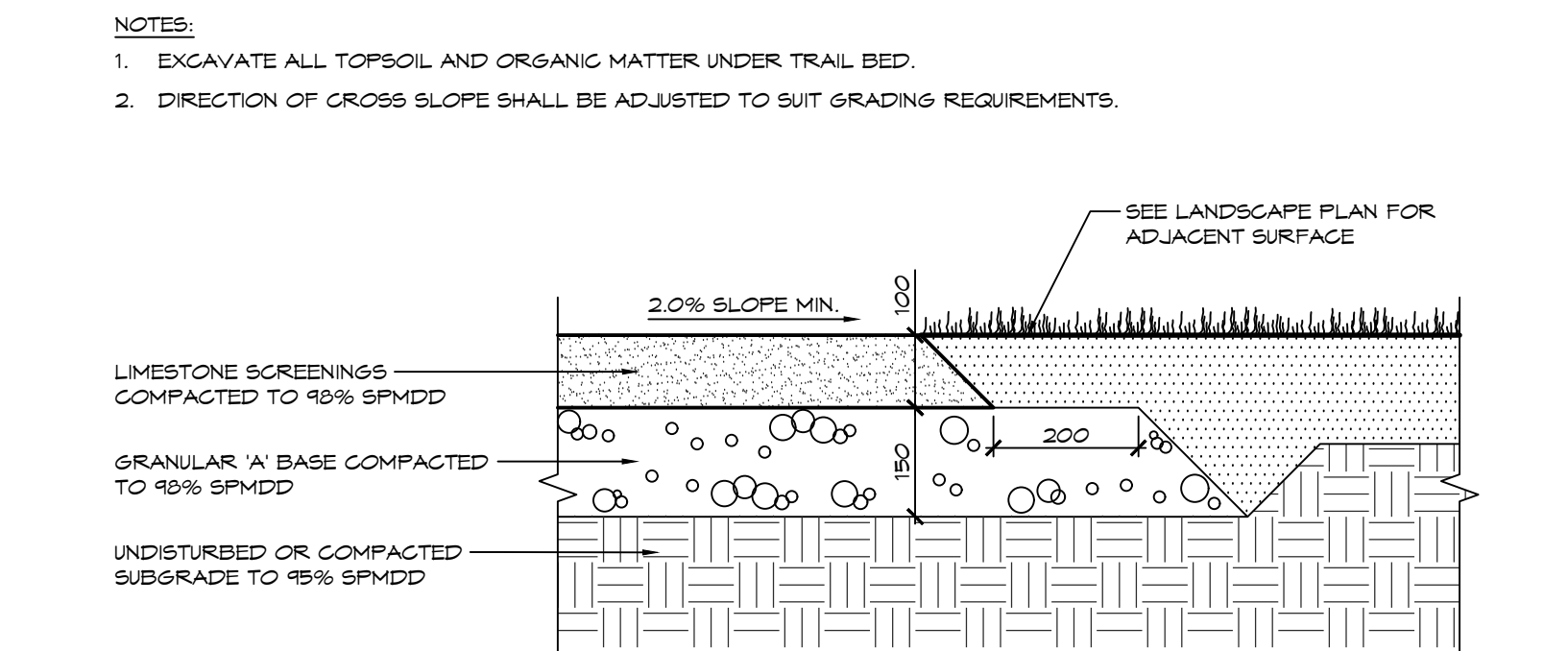
**1** 1.5 M HIGH BLACK VINYL CHAIN-LINK FENCE



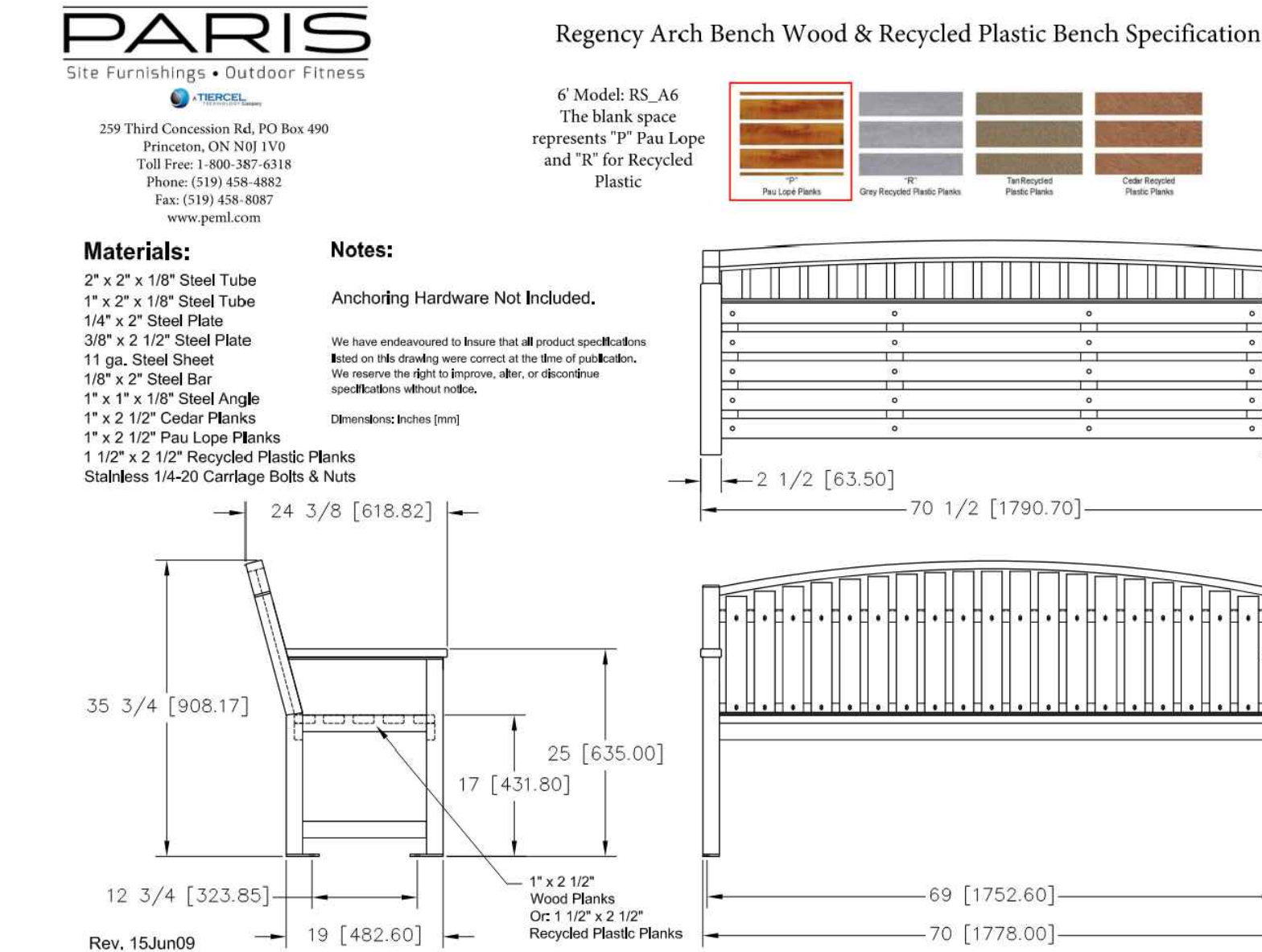
**2** ARMOUR STONE WALL



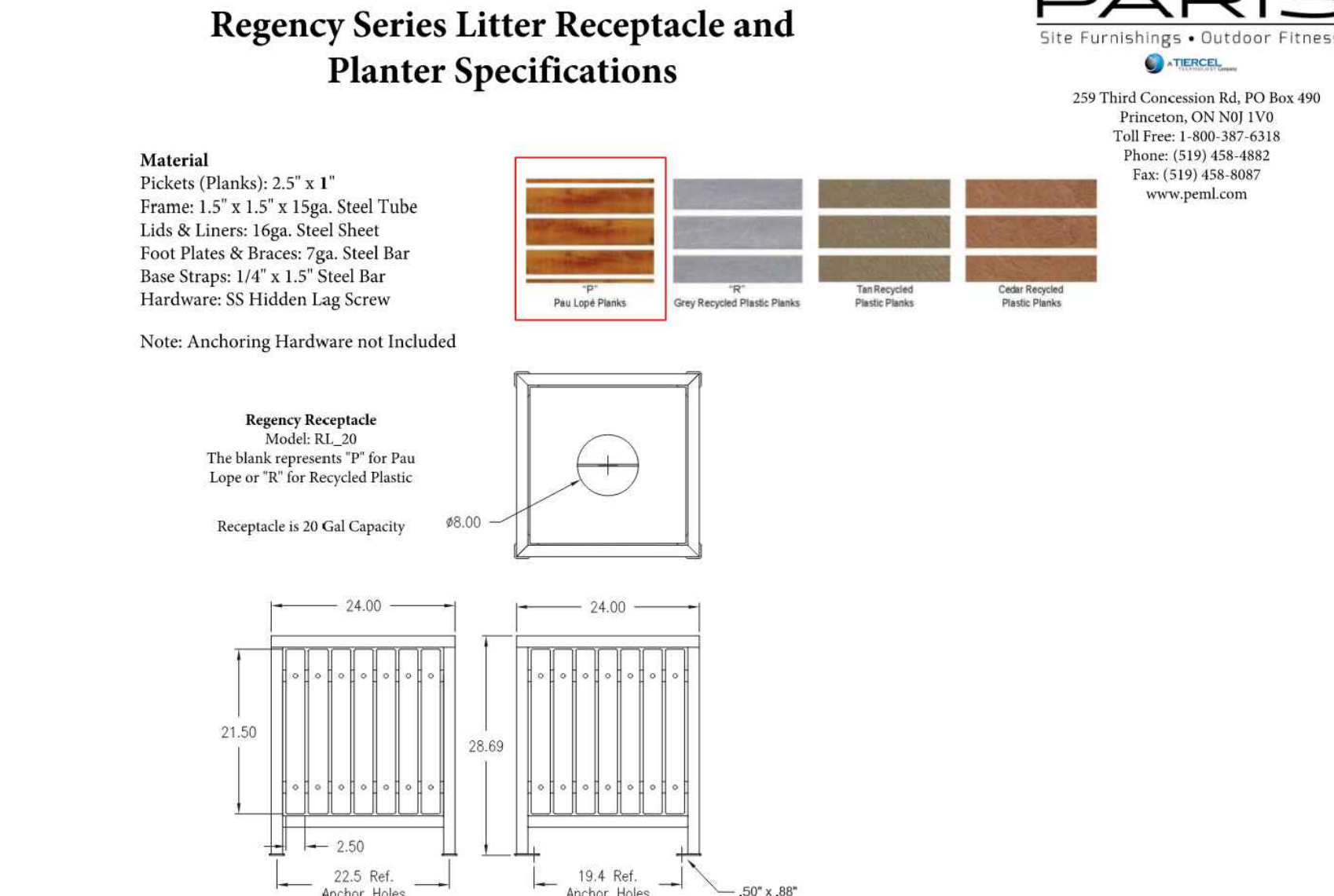
**3** CONCRETE UNIT PAVING



**4** LIMESTONE GRANULAR WALKWAY



**5** BENCH



**6** LITTER RECEPTACLE

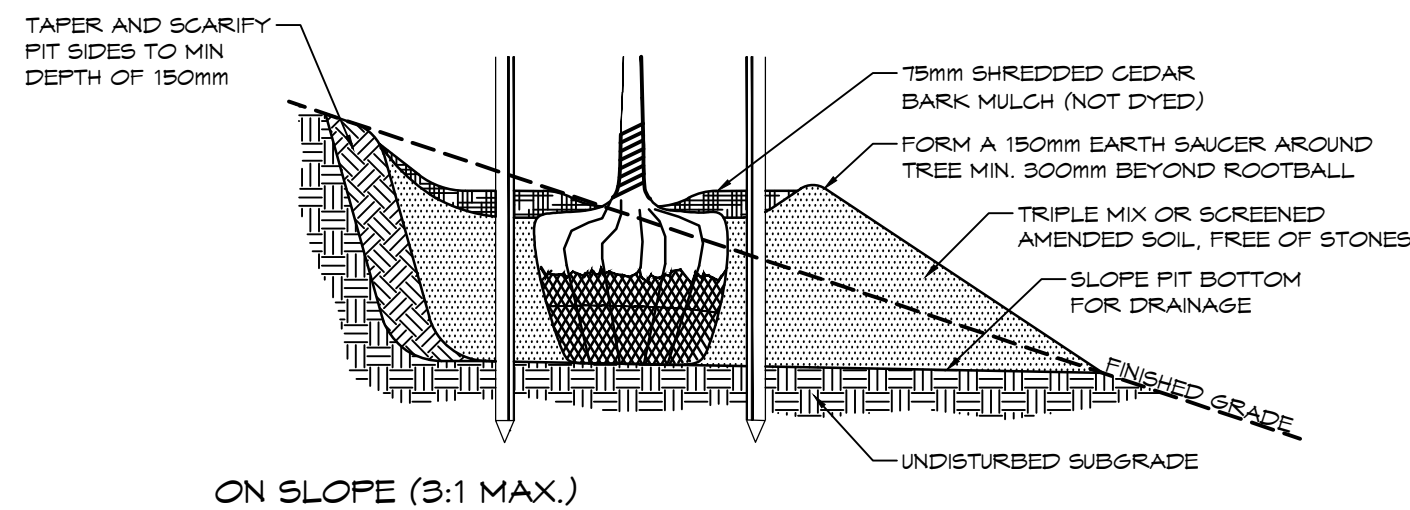
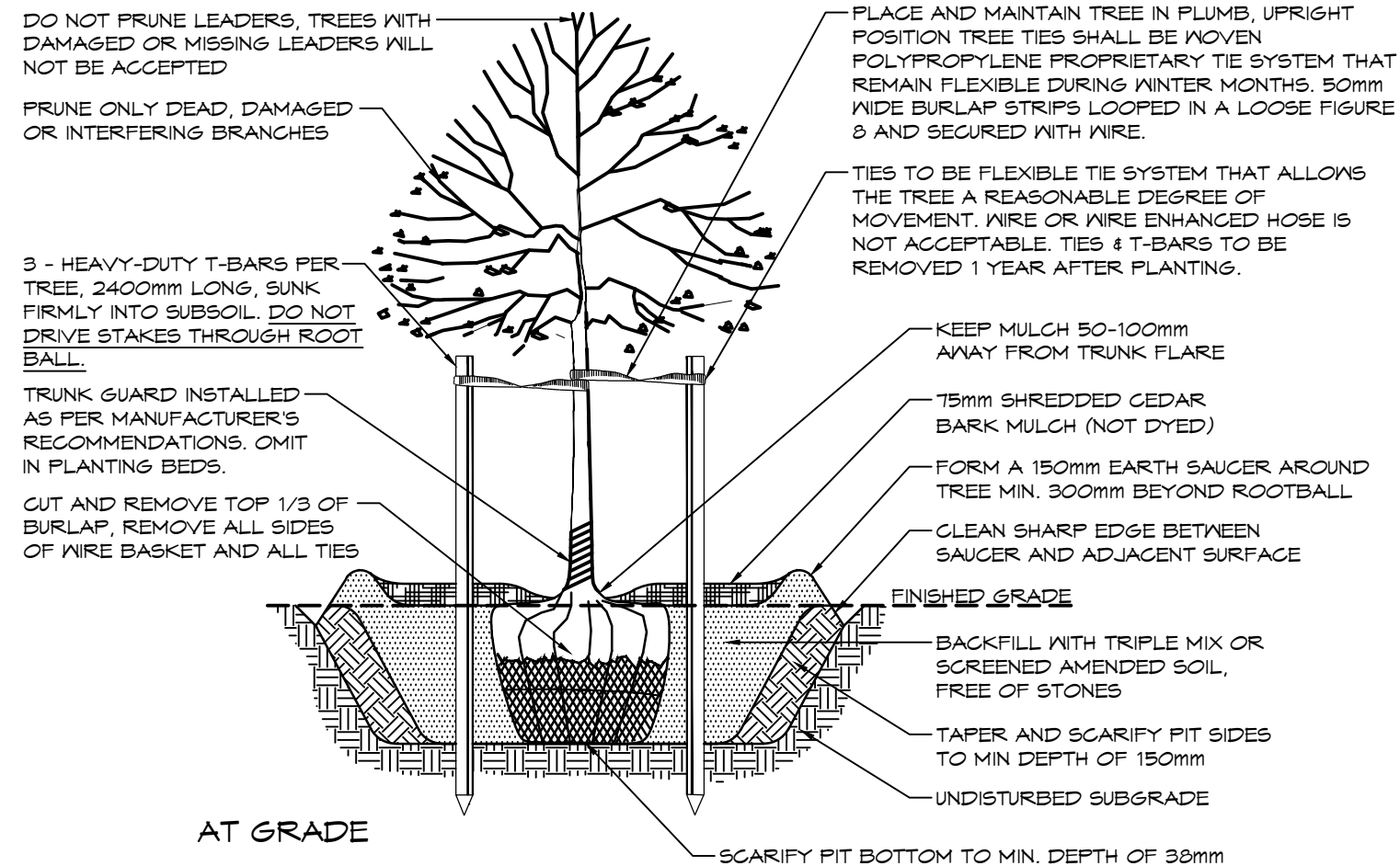
- GENERAL NOTES:**
- 1.0 SITE FURNITURE**
1. THE FOLLOWING SITE FURNITURE SHALL BE SUPPLIED BY TIMBERKITS, 105 GEORGE STREET, LINDSAY ON, K4V 6H5, 1.888.526.3554 OR 647.844.3554.
- TIMBER SHELTER**
- MODEL: SUPER HEAVY PAVILLION WITH CUSTOM HIP ROOF (3m x 3m POST CL TO POST CL)
- END PROFILE: PEAK
- BRACE STYLE: CURVED
- STAIN: GREY MIST
- EXTRAS: RECEPTACLE POCKET
2. THE FOLLOWING SITE FURNITURE SHALL BE SUPPLIED BY PARIS EQUIPMENT MANUFACTURING LTD., 254 THIRD CONCESSION ROAD, P.O. BOX 440, FRINGETOWN, ON, 1.800.357.6518.
- BENCH**
- MODEL NO.: RSPA6
- MODEL NAME: REGENCY ARCH BENCH, PAU LOPE PLANKS
- METAL FINISH: E-COAT PRIMER WITH POLYESTER POWDER COAT, JET BLACK (RAL 9005), TEXTURED
- FOOTINGS/ATTACHMENTS: SECURE TO CONCRETE UNIT PAVING WITH GALVANIZED FASTENERS
- WASTE RECEPTACLE**
- MODEL NO.: RLP20
- MODEL NAME: REGENCY LITTER RECEPTACLE, PAU LOPE PLANKS
- METAL FINISH: E-COAT PRIMER WITH POLYESTER POWDER COAT, JET BLACK (RAL 9005), TEXTURED
- FOOTINGS/ATTACHMENTS: SECURE TO CONCRETE UNIT PAVING WITH GALVANIZED FASTENERS
- 2.0 FENCING**
1. CHAIN-LINK FENCING SHALL BE PROVIDED TO SEPARATE PRIVATELY OWNED LANDS FROM MUNICIPALLY OWNED LANDS/BLOCKS AS REQUIRED IN THE DEVELOPMENT AGREEMENT. SUCH FENCING SHALL BE CONSTRUCTED WHOLLY ON MUNICIPAL PROPERTY.
2. PARK FRONTAGES ALONG STREETS AND BOUNDARIES SHARED WITH SCHOOLS, OPEN SPACES, OR STORMWATER MANAGEMENT FACILITIES DO NOT REQUIRE FENCING, UNLESS REQUIRED BY THE TOWN.
3. CHAIN LINK FENCING AND GATES LOCATED ON PARK LANDS SHALL BE 1.5M BLACK VINYL FENCING WITH A TOP RAIL PER OPSS #12.150 AND SHALL INCLUDE ALL REQUIRED POSTS, CONCRETE FOOTINGS, BRACING, RAILS, FENCE FABRIC, LOCKABLE GATES, AND ALL HARDWARE, ATTACHMENTS, AND ACCESSORIES.
4. REMOVE DEBRIS AND CORRECT GROUND UNDULATIONS ALONG FENCE LINE TO OBTAIN SMOOTH UNIFORM GRADIENT BETWEEN POSTS AND PROVIDE MINIMUM CLEARANCE BETWEEN BOTTOM OF FENCE AND GROUND SURFACE OF 25mm.
5. CHAIN LINK FENCING AND GATES SHALL MEET THE FOLLOWING REQUIREMENTS:
1. THE MESH FABRIC SHALL HAVE 50mm DIAMOND-SHAPED OPENINGS MADE FROM 4-GAUGE WIRE BEFORE VINYL COATING, UNLESS OTHERWISE INDICATED (E.G., SPORT FACILITIES).
2. TERMINAL POSTS SHALL BE A MINIMUM OF 89mm (3 1/2") OD PIPE, LINE POSTS 60mm (2 3/8") OD PIPE AND RAILS 43mm (1 3/4") OD PIPE.
3. ALL PIPING SHALL BE SCHEDULE 40, GALVANIZED STEEL.
4. MESH FABRIC TO BE INSTALLED ON INSIDE FACE TOWARDS PARK.
7. WHERE GROUND CONDITIONS PREVENT THE CREATION OF SMOOTH SIDED AUGURED POST HOLES, FOOTINGS SHALL BE POURED INTO SONO-TUBES TO FULL DEPTH. VOIDS AROUND THE OUTSIDE OF THE FORM SHALL BE FILLED WITH COMPACTED LIMESTONE SCREENINGS.
8. PRIVATE ACCESS GATES ARE NOT PERMITTED THROUGH MUNICIPALLY OWNED FENCES, OTHER THAN AS STIPULATED IN THE TOWN'S CORPORATE GATE POLICY.

**Town of Blue Mountains**  
Planning and Development Services  
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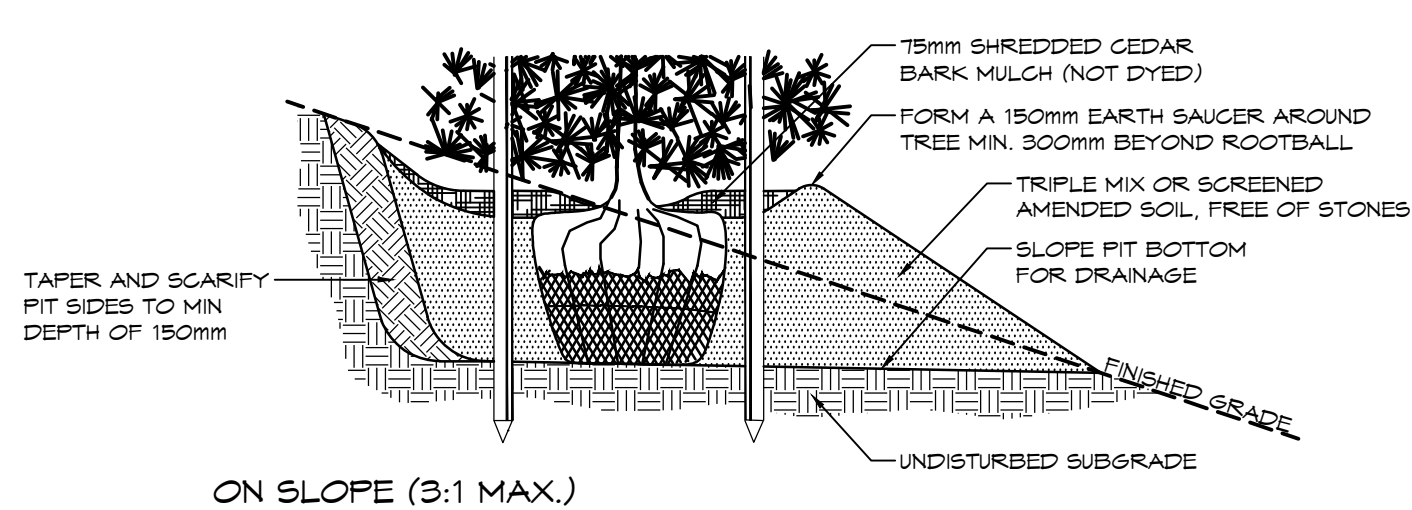
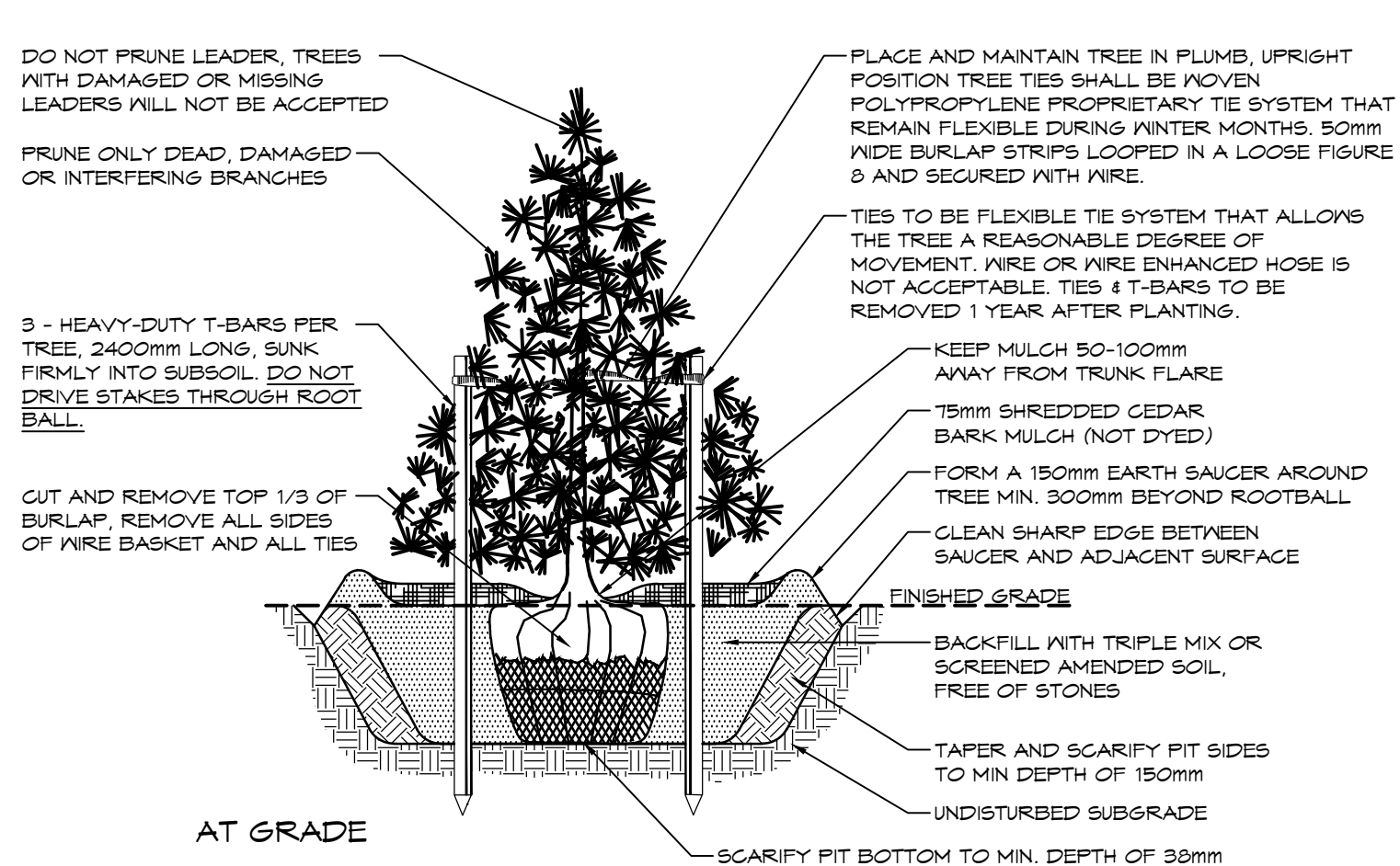
24-Oct-2023  
date

1. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER &amp; ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.   2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.   3. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.   4. DO NOT SCALE THE DRAWINGS.   5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.	NOTES:   1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.	Town	<table><tr><th>No.</th><th>ISSUE</th><th>DATE: MM/DD/YYYY</th></tr><tr><td>1</td><td>ISSUED FOR AMENDED PRE-SERVICING AGREEMENT</td><td>09/21/2022</td></tr><tr><td>2</td><td>RE- ISSUED FOR AMENDED PRE-SERVICING AGREEMENT</td><td>11/28/2022</td></tr><tr><td>3</td><td>ISSUED FOR SUBDIVISION AGREEMENT</td><td>10/19/2023</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	No.	ISSUE	DATE: MM/DD/YYYY	1	ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	09/21/2022	2	RE- ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	11/28/2022	3	ISSUED FOR SUBDIVISION AGREEMENT	10/19/2023																			Landscape Architect   	Landscape Architect   	Project   GEORGIAN RIDGE ESTATES TOWN OF THE BLUE MOUNTAINS, ON     CROZIER CONSULTING ENGINEERS   ADmiral BUILDING 1 First STREET, SUITE 200 COLLINGWOOD, ON, L9Y 1A1 705-446-3510 T 705-446-3520 F www.CFCROZIER.ca info@cfcrozier.ca	Drawing   LANDSCAPE DETAILS   <table><tr><td>Drawn By</td><td>A.M./N.S./R.B./K.C.</td><td>Design By</td><td>A.P./K.V.</td><td>Project</td><td>1019-5984</td></tr><tr><td>Check By</td><td>A.P./K.V.</td><td>Check By</td><td></td><td>Scale</td><td>AS SHOWN</td></tr><tr><td></td><td></td><td></td><td></td><td>Drawing</td><td>LD-1</td></tr></table>	Drawn By	A.M./N.S./R.B./K.C.	Design By	A.P./K.V.	Project	1019-5984	Check By	A.P./K.V.	Check By		Scale	AS SHOWN					Drawing	LD-1
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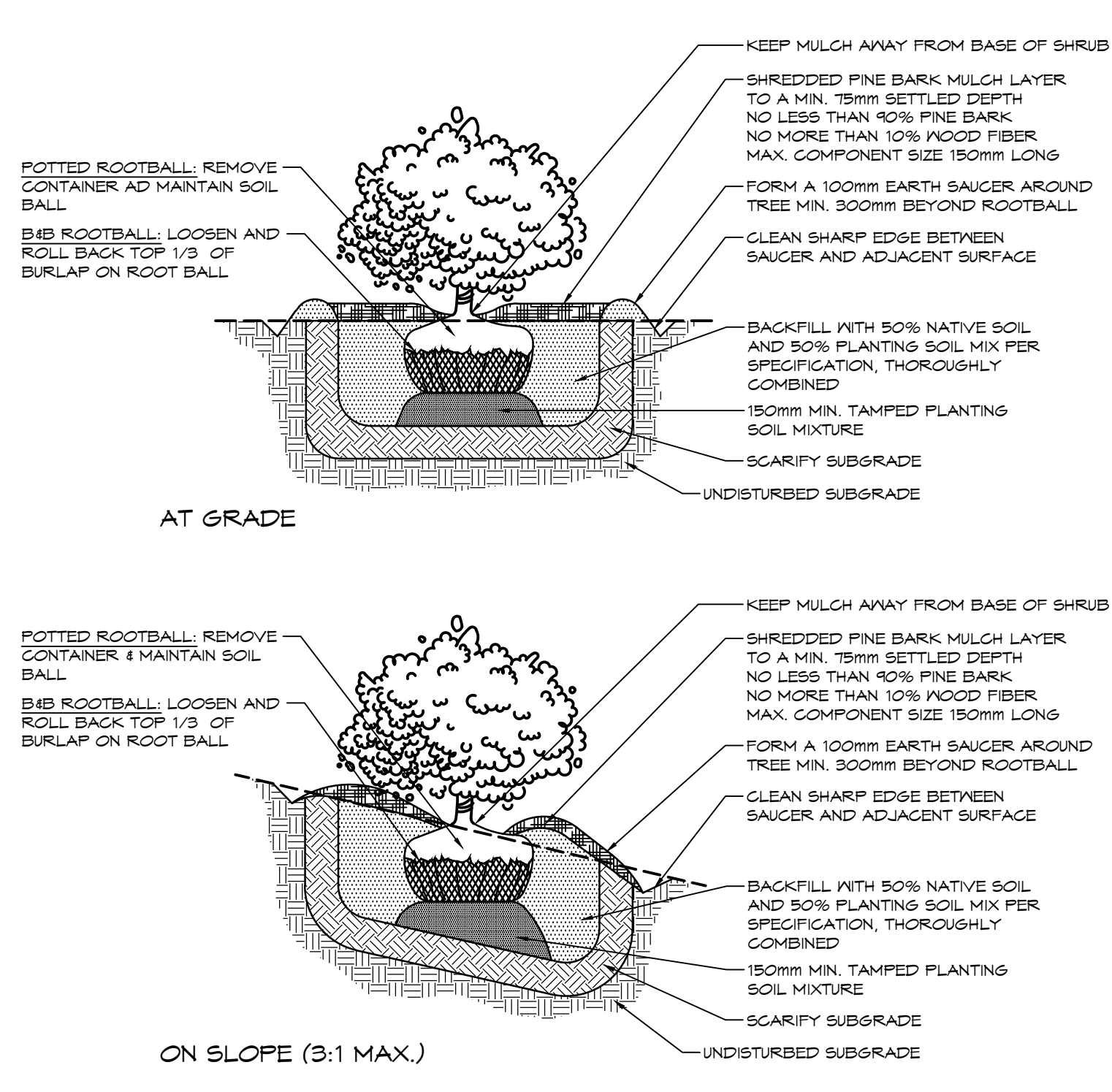
1 DECIDUOUS TREE PLANTING

NTS



2 CONIFEROUS TREE PLANTING

NTS



3 SHRUB PLANTING

NTS

GENERAL NOTES:

1.0 PLANTING

- ALL WORKMANSHIP TO THE STANDARDS OF THE LANDSCAPE ONTARIO HORTICULTURAL TRADES ASSOCIATION AND THE CANADIAN LANDSCAPE STANDARDS.
- TREE LOCATIONS SHALL BE STAKED ON SITE BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- BACKFILL IS TO CONSIST OF SOIL NATIVE TO THE SITE OR GENERAL SOIL TYPE/GLASS NATIVE TO THE SITE. SOIL AMENDMENT MAY BE REQUIRED BASED ON SOURCE OF IMPORTED OR EXISTING SITE QUALITY OF TOPSOIL. PROVIDE NUTRIENT ANALYSIS OF TOPSOIL TO BE USED FOR LANDSCAPE PURPOSES IN ORDER TO DETERMINE SOIL AMENDMENT REQUIREMENTS.
- REPORT ALL DISCREPANCIES IN WRITING TO THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN ALL LANDSCAPE AREAS UNTIL OWNER'S ACCEPTANCE OF PROJECT.
- UNLESS OTHERWISE STATED, ALL WORK SHALL CONFORM TO THE LANDSCAPE ONTARIO SPECIFICATION STANDARDS.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES.
- PLANTING MAY BE ADJUSTED TO SUIT LOCATIONS OF SITE UTILITY STRUCTURES/ SERVICES AND DRIVEWAYS.
- TREE PITS OR PLANTING BEDS LOCATED WITHIN 1 METER OF UNDERGROUND UTILITIES ARE TO BE HAND DUG.
- SUBMIT WRITTEN GUARANTEE TO THE EFFECT THAT ALL PLANTS ACCEPTED DURING THE PERIOD OF JANUARY 1st TO JULY 15th SHALL BE GUARANTEED UNTIL JULY 15th THE SECOND FOLLOWING YEAR. PLANTS ACCEPTED DURING THE PERIOD OF JULY 15th TO DECEMBER 31st SHALL BE GUARANTEED FOR TWO YEARS FROM THE DATE OF ACCEPTANCE. THE GUARANTEE PERIOD LISTED ABOVE SHALL APPLY TO ALL "NURSERY GROWN" PLANTS.
- ALL MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SOD ANY AREAS MARKED WITH NURSERY SOD ON 150mm CLEAN TOPSOIL, FINE GRADE AND SOD ALL BOULEVARD AREAS TO MUNICIPAL SPECIFICATIONS AND REPAIR DAMAGE TO ADJACENT PROPERTIES AS REQUIRED.
- FINAL INSPECTION AND ACCEPTANCE OF PLANTING WORK SHALL COINCIDE WITH THE FINAL INSPECTION AND ACCEPTANCE OF ALL WORK INCLUDED IN THE CONTRACT.
- AT THE TIME OF FINAL INSPECTION, ALL PLANTS SHALL BE IN A HEALTHY, VIGOROUS GROWING CONDITION AND PLANTED IN FULL ACCORDANCE WITH DRAWINGS AND CONDITIONS.

2.0 SEEDING

- HYDRO-SEED AND HYDRO-MULCH ALL AREAS IN ACCORDANCE WITH OPSB MUN 804.
- SEED MIXES SHALL BE APPLIED AT A RATE OF 22-25 kg/ha (21-23 lbs/ac) OR AT A RATE OF 250g/90 sq. m. (1/2 lb/100 sq. ft.) FOR SMALLER AREAS.
- SEED MIX TO BE APPLIED WITH A COVER CROP AT A RATE OF 15 kg/ha or 150g/100m sq. m.
- FOR ALL SEED MIXES CONFIRM APPLICATION RATES AND APPLICATION METHODS WITH SEED SUPPLIER AND INFORM THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF THE WORK.
- SOURCE MATERIAL - SEED MIX CONTAINING NO MAINTENANCE, NON-INVASIVE SPECIES 100% REGIONALLY NATIVE FLOWERS AND GRASSES SUITED TO THE ENVIRONMENTAL CONDITIONS.
- PLANTING TIMES - IDEALLY SEED MIXES SHOULD BE PLANTED IN THE FALL BETWEEN LEAF-FALL (TYPICALLY OCTOBER 15TH) AND FREEZE-UP (OFTEN MID-NOVEMBER). SPRING PLANTING AFTER FROST HAS LEFT THE GROUND UNTIL EARLY JUNE IS ALSO POSSIBLE.
- ALL HYDRO-SEEDING AND HYDRO-MULCHING SHALL OCCUR WITHIN THREE (3) DAYS OF TOPSOIL PLACEMENT AND FINISHED GRADING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WEED ERADICATION IF THEY FAIL TO PLACE SPECIFIED SEED AND MULCH WITHIN THE SPECIFIED PERIOD.
- THE SEED SHALL BE DELIVERED IN CONTAINERS WITH THE APPROPRIATE "CERTIFIED SEED" TAG ATTACHED IN ACCORDANCE WITH THE REGULATIONS OF THE CANADA SEED ACT.
- SEED MIX SUPPLIER - ONTARIO SEED CO. IS LISTED AS A POTENTIAL SOURCE ONLY. SEED MIXES FROM OTHER SUPPLIERS ARE ACCEPTABLE AS LONG AS SEED MIX COMPOSITION MATCHES THE SEED MIX SCHEDULE.
- THE CONTRACTOR SHALL ENSURE THAT THE SOIL IS MOIST TO A DEPTH OF 150mm PRIOR TO SEEDING.
- MAINTENANCE DURING THE ESTABLISHMENT PERIOD SHALL CONSIST OF BUT IS NOT LIMITED TO THE FOLLOWING:
  - WATERING IN SUFFICIENT QUANTITIES AND AT REGULAR FREQUENCIES TO MAINTAIN SUBSOIL MOISTURE IMMEDIATELY UNDER THE SEEDED AREA TO A DEPTH OF 75-100mm, AND,
  - CONTROL / REMOVAL OF INVASIVE WEED SPECIES TO ENSURE THAT NON SPECIFIED SPECIES DO NOT EXCEED 20%.

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Town

No.	ISSUE	DATE: MM/DD/YYYY
1	ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	09/21/2022
2	RE- ISSUED FOR AMENDED PRE-SERVICING AGREEMENT	11/28/2022
3	ISSUED FOR SUBDIVISION AGREEMENT	10/19/2023

Landscape Architect



Landscape Architect

Project

GEORGIAN RIDGE ESTATES  
TOWN OF THE BLUE MOUNTAINS, ON

Drawing

LANDSCAPE DETAILS



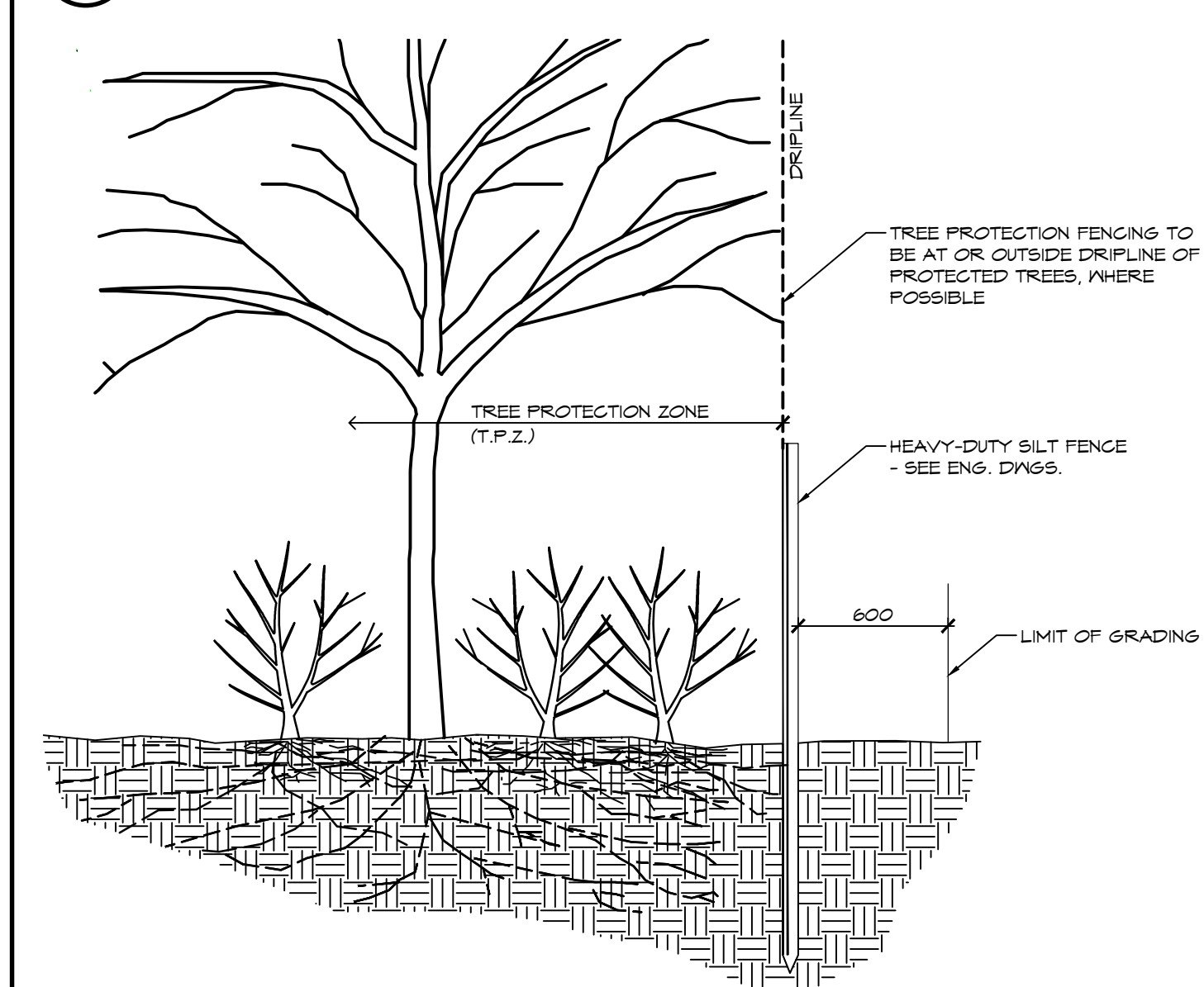
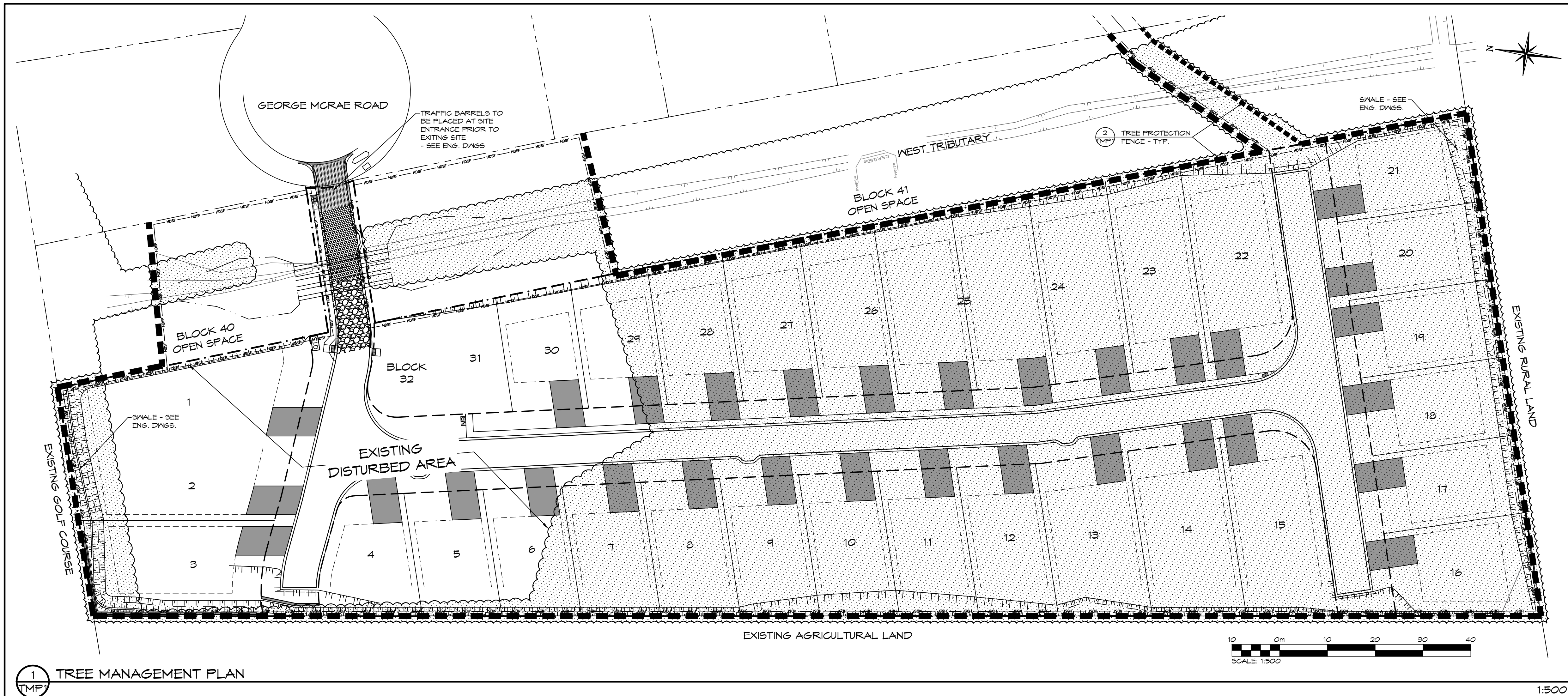
ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
WWW.CFCROZIER.CA  
INFO@CFCROZIER.CA

Drawn By  
A.M./N.S./R.B./K.C.  
Check By  
A.P./K.V.

Design By  
A.P./K.V.  
Check By

Project  
   
Scale  
AS SHOWN

Drawing  
1019-5984  
LD-2



NOTES:

1.0 TREE PROTECTION

- WHERE HEAVY-DUTY SILT FENCE HAS NOT BEEN SPECIFIED BY THE ENGINEERS, ORANGE PLASTIC CONSTRUCTION FENCING WIRED TO T-BARS SHALL BE INSTALLED FOR TREE PROTECTION MEASURES. STEEL T-BAR POSTS SHALL BE 2400mm LONG x 50mm x 50mm @ 2400mm O.C. WITH TOP 200mm PAINTED FLORESCENT.
- WHERE POSSIBLE, TREE PROTECTION FENCING LOCATION TO BE AT OR OUTSIDE THE DRIPLINE OF PROTECTED TREES, WHICH IS DEFINED AS THE CIRCLE THAT COULD BE DRAWN ON THE SOIL AROUND A TREE DIRECTLY UNDER THE TIPS OF ITS OUTERMOST AND WIDEST BRANCHES.
- LOCATION OF TREE PROTECTION FENCE SHALL BE CONFIRMED ON-SITE BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF TREE CLEARING OPERATIONS.
- AS PART OF ANY TREE REMOVAL OPERATION ALL STEMS, LIMBS AND STUMPS SHOULD BE REMOVED FROM THE SITE.
- FOR EXISTING VEGETATION TO REMAIN: PROTECT VEGETATION AND ROOT SYSTEM FROM DAMAGE, COMPACTION AND CONTAMINATION RESULTING FROM CONSTRUCTION.
- NO STORAGE OF MATERIALS OR EQUIPMENT WITHIN THE TREE PROTECTION ZONE IS ALLOWED. NO EQUIPMENT OR MATERIALS ARE ALLOWED TO HIT, ABRASE OR DAMAGE TREES DESIGNATED TO BE PRESERVED ON SITE. NO CONTAMINANTS OR EFFLUENT SHALL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS EXIST.
- NO ROOT CUTTING, NO STORAGE OF MATERIALS OR FILL, AND NO MOVEMENT OF VEHICLES IS PERMITTED WITHIN THE T.P.Z.
- FENCE BARRIERS MUST REMAIN IN EFFECTIVE CONDITION UNTIL ALL SITE ACTIVITIES INCLUDING LANDSCAPING ARE COMPLETED.
- CONTRACTOR SHALL REMOVE TREE PROTECTION FENCING AT THE COMPLETION OF THE SITE WORKS FOLLOWING WRITTEN APPROVAL BY THE CONSULTANT.

2.0 HAZARD TREE MANAGEMENT

- SELECTIVE HAZARD REMOVAL WITHIN THE T.P.Z. SHALL BE DETERMINED ON-SITE BY THE LANDSCAPE ARCHITECT.
- WHERE REQUIRED, FELLING LINES SHOULD ALLOW TREES TO FALL WITHOUT IMPACTING EXISTING STRUCTURES, FEATURES, OR BRANCHES AND TRUNKS OF TREES TO REMAIN.
- SHOULD A CLEAR FELLING LINE NOT EXIST, THE TREE SHOULD BE CUT INCREMENTALLY FROM TOP TO BOTTOM AND LOWERED TO THE GROUND WITH ROPES.
- CLEANLY CUT ANY ROOTS THAT BECOME EXPOSED DURING CONSTRUCTION.



LEGEND

- PROPERTY BOUNDARY
- LOT BOUNDARY
- PR. HEAVY DUTY SILT FENCE SEE ENG. DWGS.
- BUILDING ENVELOPE
- EXISTING VEGETATION TO REMAIN
- EXISTING VEGETATION TO BE REMOVED DUE TO GRADING AND SERVICING
- TREE PROTECTION FENCE (HEAVY-DUTY SILT FENCE)
- TREE PROTECTION FENCE (ORANGE PLASTIC CONSTRUCTION FENCE)

NOTES:

1.0 EXISTING VEGETATION

- AS DESCRIBED IN THE EIS (SEPTEMBER 10, 2018) THE VEGETATION IS COMPRISED OF GREEN ASH, APPLE, SUGAR MAPLE, COMMON BUCKTHORN AND RED-OSIER DOGWOOD. NO SPECIES AT RISK VEGETATION IS PRESENT WITHIN THE PROPOSED REMOVAL AREA.

2.0 TREE REMOVALS

- ALL EXISTING TREES LOCATED WITHIN THE VEGETATION TO BE REMOVED AREA ARE TO BE REMOVED DUE TO CONFLICTS WITH THE PROPOSED GRADING AND/OR SERVICING OF THE SITE DEVELOPMENT. THE CONFLICTS ARE UNAVOIDABLE.
- FOR SERVICING, GRADING AND DRAINAGE INFORMATION SEE ENGINEERING DRAWINGS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING AND PROPOSED GRADES AND CONDITIONS OF THE PROJECT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH ANY REMOVALS.
- TREE REMOVALS SHALL CONFORM WITH THE MIGRATORY BIRDS CONVENTION ACT AND MUNICIPAL BY-LAWS.

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No.	ISSUE	DATE: MM/DD/YYYY
0	TREE MANAGEMENT PLAN - ISSUED FOR REVIEW	02/26/2021
1	ISSUED FOR FIRST SUBMISSION	07/26/2021
2	ISSUED FOR TOWN REVIEW	10/19/2021
3	ISSUED FOR SITE ALTERATION & TREE CLEARING	12/03/2021
4	ISSUED FOR SUBDIVISION AGREEMENT	10/13/2023

Landscape Architect

Landscape Architect

Project

GEORGIAN RIDGE ESTATES  
TOWN OF THE BLUE MOUNTAINS, ON

Drawing

TREE MANAGEMENT PLAN



ADMIRAL BUILDING  
1 FIRST STREET, SUITE 200  
COLLINGWOOD, ON L9Y 1A1  
705-446-3510 T  
705-446-3520 F  
www.cf-crozier.ca  
info@cf-crozier.ca

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