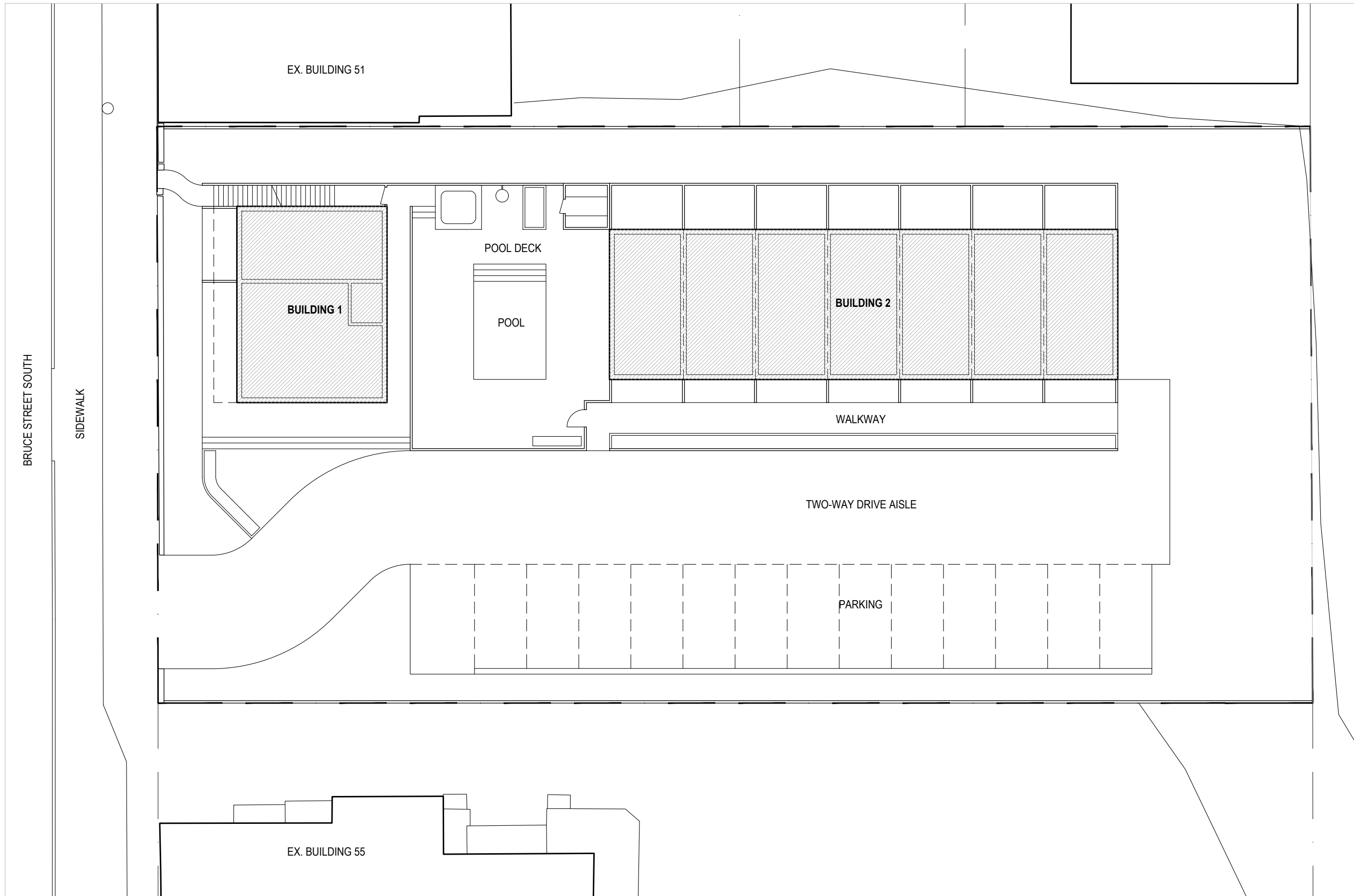




1 SITE PLAN
ID-0.0 FOR REFERENCE ONLY

SCALE 1/16"=1'-0"

INTERIOR DESIGN DRAWING INDEX									
SHEET	SHEET NAME	ISSUE DATE							
		ISSUE FOR GC PRELIM. PRICING 2024-10-18							
ID-0.0	COVER PAGE & DRAWING LIST	•							
ID-0.1	GENERAL NOTES & LEGENDS	•							
ID-0.2	DOOR SCHEDULE & ELEVATIONS								
BUILDING 1									
ID-1.0.0	BASEMENT - CONSTRUCTION PLAN	•							
ID-1.0.1	GROUND + SECOND FLOOR - CONSTRUCTION PLANS	•							
ID-1.1.0	BASEMENT - REFLECTED CEILING PLAN								
ID-1.1.1	GROUND + SECOND FLOOR - REFLECTED CEILING PLANS								
ID-1.2.0	BASEMENT - POWER + COMMUNICATIONS PLAN								
ID-1.2.1	GROUND + SECOND FLOOR - POWER + COMMUNICATIONS PLANS								
ID-1.3.0	BASEMENT - FLOOR FINISHES PLAN								
ID-1.3.1	GROUND + SECOND FLOOR - FLOOR FINISHES PLANS								
ID-1.4.0	BASEMENT - FURNITURE PLAN	•							
ID-1.4.1	GROUND + SECOND FLOOR - FURNITURE PLANS	•							
BUILDING 2									
ID-2.0.0	GROUND FLOOR - CONSTRUCTION PLAN	•							
ID-2.1.0	GROUND FLOOR - REFLECTED CEILING PLAN								
ID-2.2.0	GROUND FLOOR - POWER + COMMUNICATIONS PLAN								
ID-2.3.0	GROUND FLOOR - FLOOR FINISHES PLAN								
ID-2.4.0	GROUND FLOOR - CONSTRUCTION PLAN	•							
ELEVATIONS									
ID-3.1.0	BUILDING 1 - ELEVATIONS								
ID-3.2.0	BUILDING 2 - ADJOINING SUITE ELEVATIONS	•							
ID-3.2.0	BUILDING 2 - ADJOINING SUITE RENDERS	•							
WASHROOMS									
ID-4.1.0	BUILDING 1 - WASHROOMS								
ID-4.2.0	BUILDING 2 - TYPICAL ENSUITE	•							

DO NOT SCALE DRAWINGS.

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WESTGROVE

5 ADRIAN AVENUE, UNIT 202
TORONTO, ON M6N 5G4

+1 416 807 1463
INFO@WEST-GROVE.CO

PROJECT NAME:	
LEEWARD HOUSE	
53 Bruce Street s, Thornbury, ON N0H 2P0	
PROJECT NO.:	
DRAWING/S:	
COVER PAGE & DRAWING INDEX	
DATE STARTED: 2024/10/18	DRAWING NO.:
SCALE: AS NOTED	ID
DRAWN BY: MM	0.0
APPROVED BY: KM	

DRAWING SYMBOLS LEGEND

DIMENSION

CENTRELINE

ELEVATION BUBBLE

DRAWING VIEW NUMBER

1

DIRECTION INDICATOR

MAY BE ROTATED TO SUIT

DRAWING SHEET NUMBER

100.0

SIM

SIMILAR/MIRROR NOTE

DENOTES IF DETAIL IS SIMILAR OR MIRROR IMAGE OF ORIGINAL REFERENCED DETAIL

DRAWING VIEW NUMBER

4

DIRECTION INDICATOR

XX-XX

DRAWING SHEET NUMBER

SECTION BUBBLE

1

ID-0.00

SIM

GRID BUBBLE

ZZ

99

DRAWING TAG

DRAWING NUMBER

1

ID-X-XX

DRAWING TITLE

TITLE

Scale: 1:1

SCALE

SHEET NUMBER

BREAK LINE

DETAIL BUBBLE

DETAIL NUMBER

1

ID-0.00

SIM

SIMILAR/MIRROR NOTE

DENOTES IF DETAIL IS SIMILAR OR MIRROR-IMAGE OF ORIGINAL REFERENCED DETAIL

SHEET DRAWING NUMBER

NORTH ARROW

CONSTRUCTION NORTH

TRUE NORTH

REVISION DELTA AND REVISION CLOUD

REVISION MARKER

1

REVISION CLOUD

GRAIN DIRECTION

FINISH, PLUMBING, HARDWARE TAG (ELEVATION ONLY)

PT-99

GENERAL NOTES:

A. GENERAL

1. ALL DRAWINGS TO BE READ IN IN CONJUNCTION WITH ARCHITECTURAL PLANS, AND ELEVATIONS. GC TO REPORT ANY DISCREPANCIES TO DESIGNER/ARCHITECT.

2. ALL MATERIALS AND WORKMANSHIP ARE TO BE OF THE HIGHEST POSSIBLE STANDARD.

3. CONTRACTOR MUST CHECK THE EXISTING SITE CONDITIONS AND VERIFY ALL JOB DIMENSIONS, DRAWINGS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WORK. CONTRACTOR MUST COORDINATE WITH ARCHITECT'S DRAWINGS AND MECHANICAL & ELECTRICAL ENGINEER'S DRAWINGS AND REPORT AND DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK.

4. ALL WORK IS TO CONFORM TO LOCAL BUILDING CODES.

5. ALL MATERIALS ARE TO BE OF NON-COMBUSTIBLE CONSTRUCTION AS REQUIRED BY LOCAL BUILDING CODES AND REGULATIONS.

6. CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS AFFECTED BY WORK. REPAIR OR REPLACE ANY EXISTING MATERIALS, FINISHES, LIGHT FIXTURES OR HARDWARE ETC. TO RESTORED STATE AS REQUESTED.

7. EXISTING DEMISING WALLS ARE TO BE MADE GOOD TO RECEIVE SPECIFIED FINISH. ANY EXPOSED BRICK OR CONCRETE WALLS TO BE FURRED OUT WITH GYPSUM BOARD ON MINIMUM METAL FURRING CHANNELS WHERE INDICATED ON PARTITION PLAN. ALL OTHER EXISTING BRICK AND CONCRETE WALLS TO BE MADE GOOD TO RECEIVE SPECIFIED FINISH AS INDICATED ON PARTITION PLAN.

8. WHERE APPLICABLE, FIRE RATED CEILINGS, PARTITIONS AND DOORS TO BE PROVIDED AS PER ARCHITECT'S SPECIFICATION AND LOCAL BUILDING CODE REQUIREMENTS AND REGULATIONS.

9. ALL DIMENSIONS SHOWN AT METAL STUD WALLS ARE TO THE FINISH FACE OF GYPSUM WALLBOARD OR TO FACE OF STUD AT WALLS WITH NO GYPSUM BOARD UNLESS NOTED OTHERWISE.

10. APPROPRIATE CONCEALED BLOCKING/OR REINFORCING STEEL TO BE PROVIDED IN ALL NEW AND EXISTING WALLS AS REQUIRED TO SUPPORT NEW WALL FIXTURES, SHELVES, VANITIES, ETC.

11. APPROPRIATE CONCEALED BLOCKING AND/OR REINFORCING STEEL TO BE PROVIDED IN ALL NEW AND EXISTING CEILINGS AS REQUIRED TO SUPPORT NEW LIGHT FIXTURES, SUSPENDED CEILINGS, DECORATIVE ELEMENTS, SIGNAGE ETC.

12. CONTRACTOR TO PRICE, PRODUCE/MANUFACTURE ALL FINISHES AND MATERIALS AS PER GENERAL FINISHES SCHEDULE AND WORKING DRAWINGS. THE USE OF ANY "EQUAL" ALTERNATIVES OR SUBSTITUTES IS SUBJECT TO DESIGNER'S APPROVAL BEFORE PROCEEDING WITH WORK.

13. ALL EXPOSED CEILINGS INCLUDING EXISTING WOOD DECK, ALL CONDUITS, DUCTS, SPRINKLER LINES, ETC. TO RECEIVE SPECIFIED PAINT FINISH, UNLESS OTHERWISE NOTED ON DRAWINGS.

14. CONTRACTOR TO PROVIDE SAMPLES OF STANDARD HINGES, LOCKSETS, DOOR AND CABINET PULLS FOR DESIGNER'S APPROVAL BEFORE PROCEEDING WITH WORK.

15. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF ALL STONEWORK, SIGNAGE, CUSTOM LIGHT FIXTURES, MILLWORK, METAL WORK AND ALL ITEMS AS SPECIFIED IN DRAWINGS FOR DESIGNER'S APPROVAL BEFORE PROCEEDING WITH WORK.

16. CONTRACTOR TO ENSURE ALL EXPOSED GLASS EDGES TO HAVE SAFETY BEVEL.

17. CONSTRUCTION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATION BOOK. NO EXTRAS WILL BE ACCEPTED DUE TO ERRORS BY THE CONTRACTOR AS A RESULT OF THE CONTRACTOR NOT BEING FAMILIAR WITH ALL DOCUMENTS.

E. MECHANICAL AND ELECTRICAL

1. PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND COORDINATE ALL THE DRAWINGS AND SITE CONDITIONS TO ENSURE THAT BOTH THE EXISTING AND THE NEW SERVICE DUCTING, PIPING, CONDUITS, EQUIPMENT AND FIXTURES DO NOT INTERFERE WITH INTERIOR WORK. IF THERE ARE ANY CONFLICTS WITH THE INTERIOR WORK, THE DESIGNER MUST BE NOTIFIED PRIOR TO COMMENCING WORK IF ANY MODIFICATION TO THE DESIGN IS REQUIRED. NO POST-TENDER EXTRAS WILL BE ACCEPTED FOR ANY ALTERATION AND/OR ADDITIONAL WORK ARISING FROM SUCH MODIFICATIONS DURING OR AFTER THE CONSTRUCTION PERIOD.

2. SUBSTITUTION OF SPECIFIED MATERIAL AND EQUIPMENT IS NOT PERMITTED WITHOUT THE DESIGNER'S APPROVAL.

3. PRIOR TO CONSTRUCTION, CONTRACTOR TO SUBMIT SHOP DRAWINGS OF MECHANICAL EQUIPMENT, EXPOSED DEVICES AND GRILLES FOR DESIGNER'S APPROVAL.

4. CONTRACTOR TO CONFIRM WITH DESIGNER AND ENGINEER, THE LOCATIONS OF ALL SAFETY AND MECHANICAL DEVICES (SUCH AS THERMOSTAT SENSOR, SMOKE DETECTORS, ETC.) BEFORE WORK COMMENCES.

5. ALL NEW WIRING, CONDUITS, PIPES, DUCTS, ETC. TO BE CONCEALED BEHIND WALLS, CEILINGS AND BEHIND BASEBOARDS. THIS INCLUDES WIRING FOR ALL SERVICES SUCH AS SECURITY ALARM SYSTEM, FIRE SYSTEM ETC.

6. REMOVE ALL REDUNDANT MECHANICAL EQUIPMENT, DUCTING, CONDUIT, DEVICES, ETC. REPAIR WALLS, FLOORS AND CEILINGS AS REQUIRED. REFER TO MECHANICAL CONSULTANTS DRAWINGS AND SPECIFICATIONS.

7. REMOVE ALL REDUNDANT OUTLETS, SWITCHES, ETC. REPAIR WALLS, CEILINGS AND FLOORS AS REQUIRED. REFER TO ELECTRICAL CONSULTANTS DRAWINGS AND SPECIFICATIONS.

8. CONTRACTOR TO ENSURE ALL LIGHTING FIXTURES, CUSTOM AND STANDARD, MEET REQUIRED CODES AND SAFETY STANDARDS AND REPORT AND REQUIRED MODIFICATIONS TO DESIGNER BEFORE PROCEEDING WITH WORK.

9. ALL LIGHT SWITCHES, DUPLEX RECEPTACLES, AND TELEPHONE OUTLETS ARE TO MATCH THE COLOUR OF THE WALL OR FIXTURE TO WHICH THEY ARE MOUNTED, UNLESS NOTED OTHERWISE. CONTRACTOR TO REVIEW THE QUALITY OF STANDARD COLOURS AS SPECIFIED AND PROVIDE SAMPLES FOR DESIGNER'S APPROVAL BEFORE PROCEEDING WITH WORK.

10. ALL DUPLEX RECEPTACLES TO BE MOUNTED VERTICALLY AT 14" O.C. ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE. SWITCHES TO BE LOCATED AT 1220mm (4'-0") O.C. ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE ON DRAWINGS.

11. CONTRACTOR TO VERIFY ALL OUTLET LOCATIONS AND WHERE APPLICABLE AND POSSIBLE, MOUNT OUTLETS ON CENTER OF WALL PANELS AT SPECIFIED HEIGHTS.

NOTES:

HEIGHTS INDICATED APPLY UNLESS OTHERWISE INDICATED ON PLANS & ELEVATIONS

SELECT DIMENSION BASED ON UNIT OF MEASUREMENT FOR PROJECT

DIMENSIONS SHOWN ARE FOR NEW CONSTRUCTION. FOR ALTERATIONS OR RENOVATIONS EXISTING HEIGHTS MAY GOVERN. CONTACT CONSULTANT FOR CLARIFICATION

FOR AUDIO VISUAL EQUIPMENT OUTLETS FER TO ELEVATIONS AND AV DRAWINGS

REPORT DISCREPANCIES TO CONSULTANT. DO NOT PROCEED WITHOUT CLARIFICATION

DIMENSIONS ARE FROM FINISHED FLOOR. ALLOW FOR THICKNESS ABOVE SLAB

DIMENSIONS ARE TO CENTRELINE OF DEVICES UNLESS NOTED OTHERWISE

ALIGN DEVICES OVER STEPPED COUNTERS 1100MM (43 1/4") MAX

THERMOSTATS & MANUAL PULL STATIONS - DO NOT LOCATE THERMOSTATS @ MIDDLE OF WALL

TYPICAL CONTROLS, SWITCHES, CARD READERS, PUSH BUTTONS, INTERCOMS, OCCUPANCY SENSORS

1200 (47-1/4")

1100 (43-1/4")

1000 (39-1/4")

350 (12")

COUNTER HEIGHTS VARY - SEE ELEVATIONS

6"

FINISHED FLOOR (ALLOW FOR THICKNESS ABOVE SLAB)

FURNITURE FEEDS AND HARDWARE CONNECTIONS FOR EQUIPMENT

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NO.	DATE	COMMENTS	INH

REVISIONS:

PROJECT NAME:

LEEWARD HOUSE

53 Bruce Street s, Thornbury, ON N0H 2P0

PROJECT NO.:

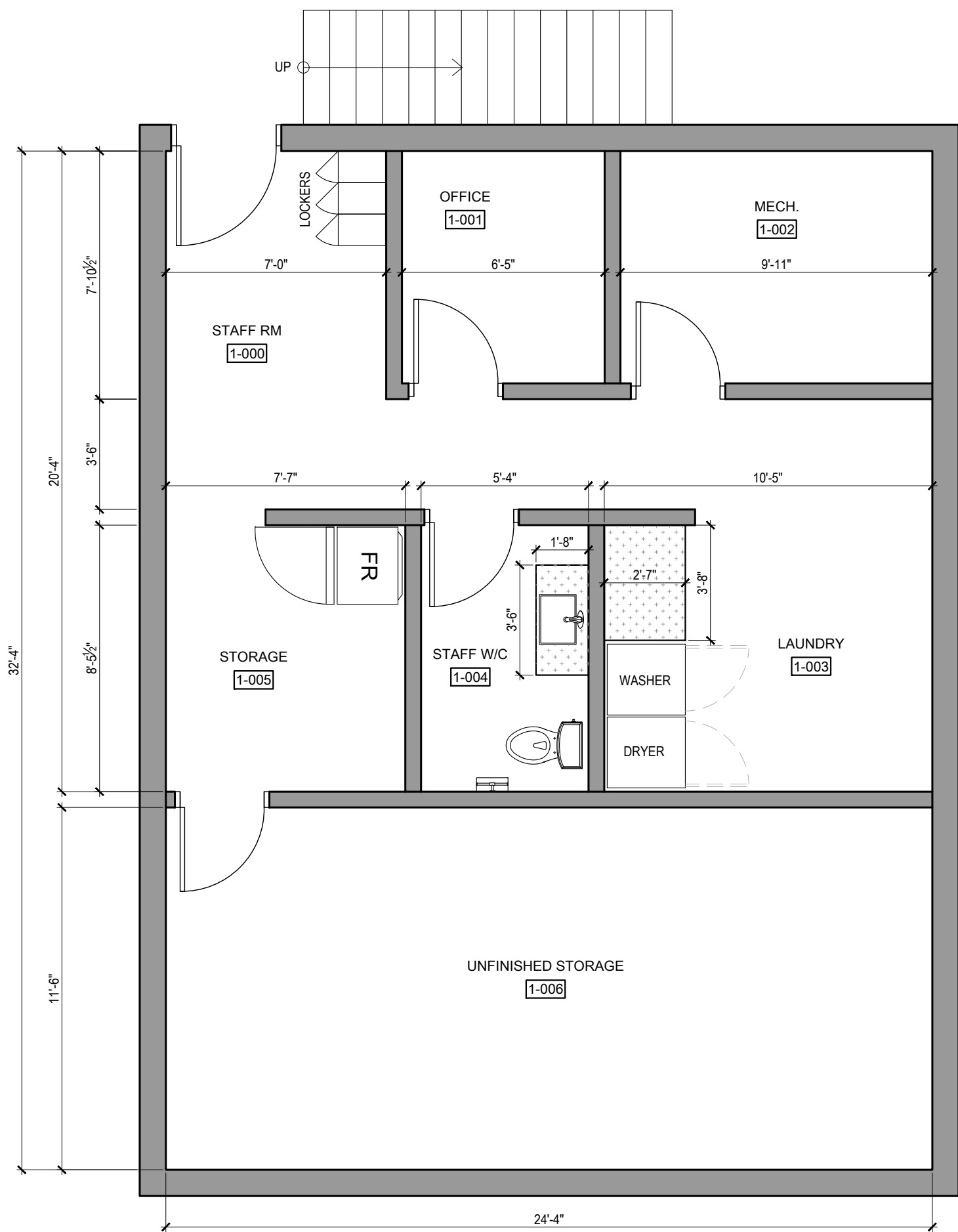
DRAWINGS:

GENERAL NOTES & LEGENDS

DATE STARTED: 2024/10/18	DRAWING NO.:
SCALE: NTS	ID
DRAWN BY: MM	0.1
APPROVED BY: KM	

24 of 36

NOTE: MILLWORK DESIGN FOR BUILDING 1
TBC. GC TO PROVIDE PRICING BASED OFF OF
DESIGN AND SPECIFICATIONS PROVIDED FOR
BUILDING 2.



1
ID-1.0

CONSTRUCTION PLAN
BASEMENT

SCALE: 1/4"=1'-0"

CONSTRUCTION LEGEND

SYMBOL	DESCRIPTION
	DENOTES NEW PARTITION. REFER TO ARCH. PLANS FOR PARTITION DETAILS + CONSTRUCTION. REFER TO ID PLANS FOR PARTITION PLACEMENT.
	DENOTES MILLWORK LOCATIONS. PROVIDE BLOCKING IN WALL FOR WALL MOUNTED MILLWORK. REFER TO ELEVATIONS FOR FURTHER DETAILS.
	DENOTES ROOM NUMBER
	DENOTES DOOR NUMBER

KEY NOTES

1	RESERVED
2	RESERVED

DO NOT SCALE DRAWINGS.

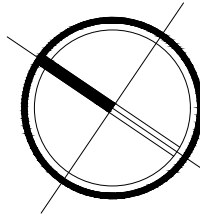
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REVISIONS:



WESTGROVE

5 ADRIAN AVENUE, UNIT 202
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INFO@WEST-GROVE.CO

PROJECT NAME:

LEEWARD HOUSE

53 Bruce St S, Thornbury, ON N0H 2P0

PROJECT NO.:

DRAWING/S:

BUILDING 01
CONSTRUCTION PLANS

DATE STARTED: 2024/10/18

SCALE: 1/4" = 1'-0"

DRAWN BY: MM

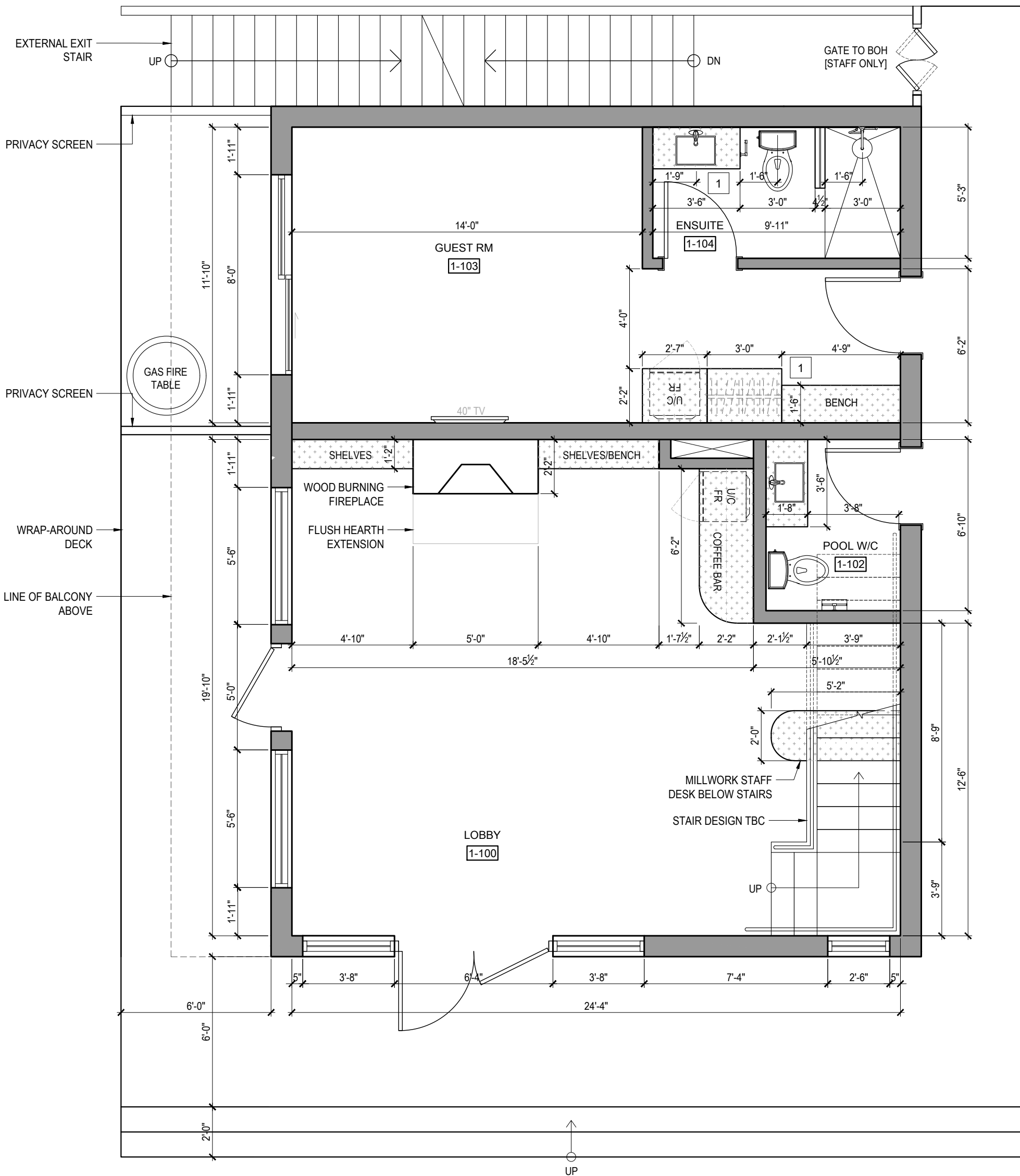
APPROVED BY: KM

DRAWING NO.:

ID

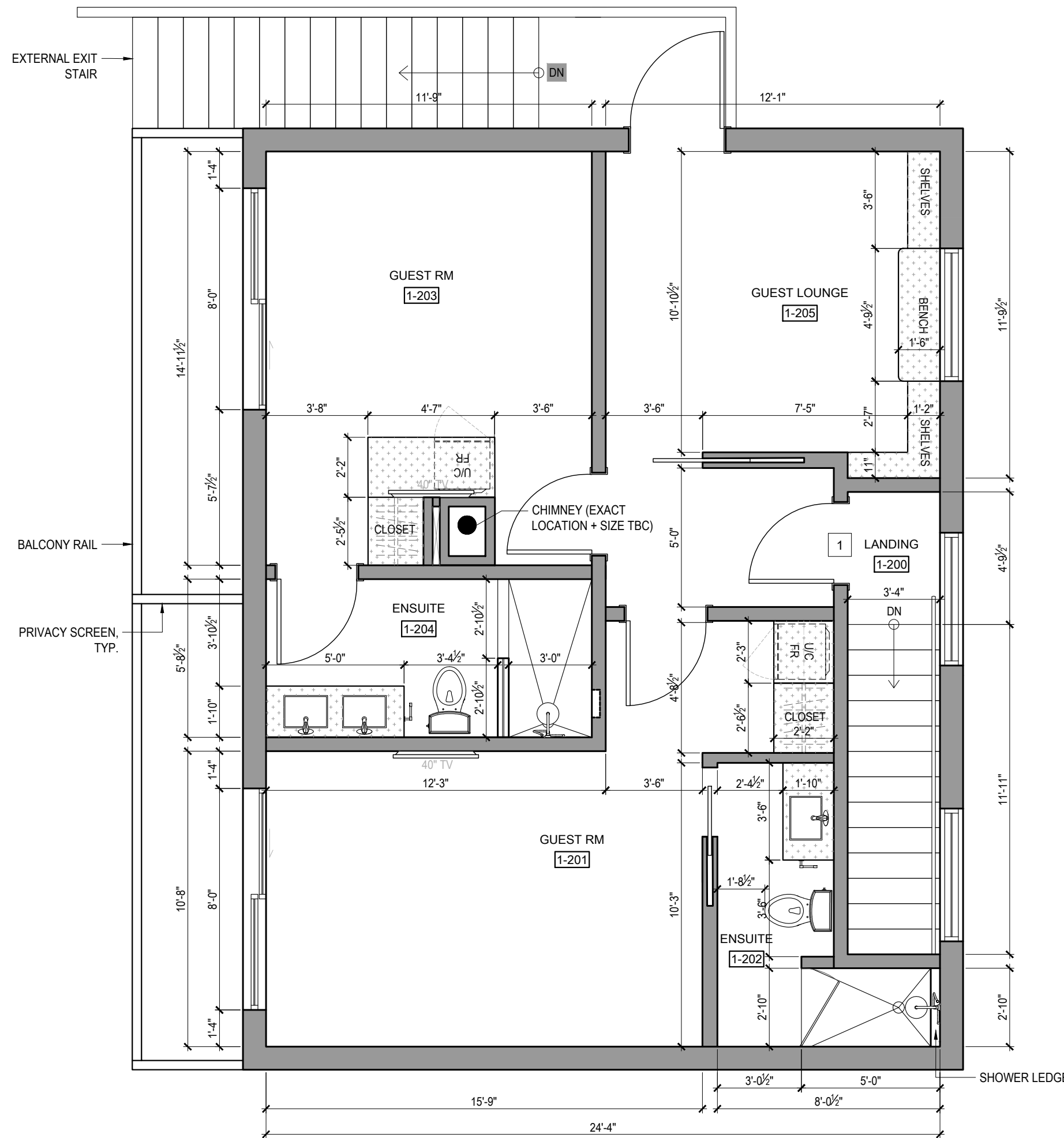
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NOTE: MILLWORK DESIGN FOR BUILDING 1
TBC. GC TO PROVIDE PRICING BASED OFF OF
DESIGN AND SPECIFICATIONS PROVIDED FOR
BUILDING 2.



1 CONSTRUCTION PLAN
ID-1.0.1 GROUND FLOOR

SCALE: 1/4"=1'-0"



2 CONSTRUCTION PLAN
ID-1.0.1 SECOND FLOOR

SCALE: 1/4"=1'-0"

CONSTRUCTION LEGEND	
SYMBOL	DESCRIPTION
	DENOTES NEW PARTITION. REFER TO ARCH. PLANS FOR PARTITION DETAILS + CONSTRUCTION. REFER TO ID PLANS FOR PARTITION PLACEMENT.
	DENOTES MILLWORK LOCATIONS. PROVIDE BLOCKING IN WALL FOR WALL MOUNTED MILLWORK. REFER TO ELEVATIONS FOR FURTHER DETAILS.
	DENOTES BLOCKING
	DENOTES ROOM NUMBER
	DENOTES DOOR NUMBER

KEY NOTES	
1	FIRE RATED DOOR
2	RESERVED

DO NOT SCALE DRAWINGS.

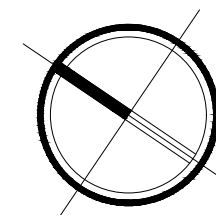
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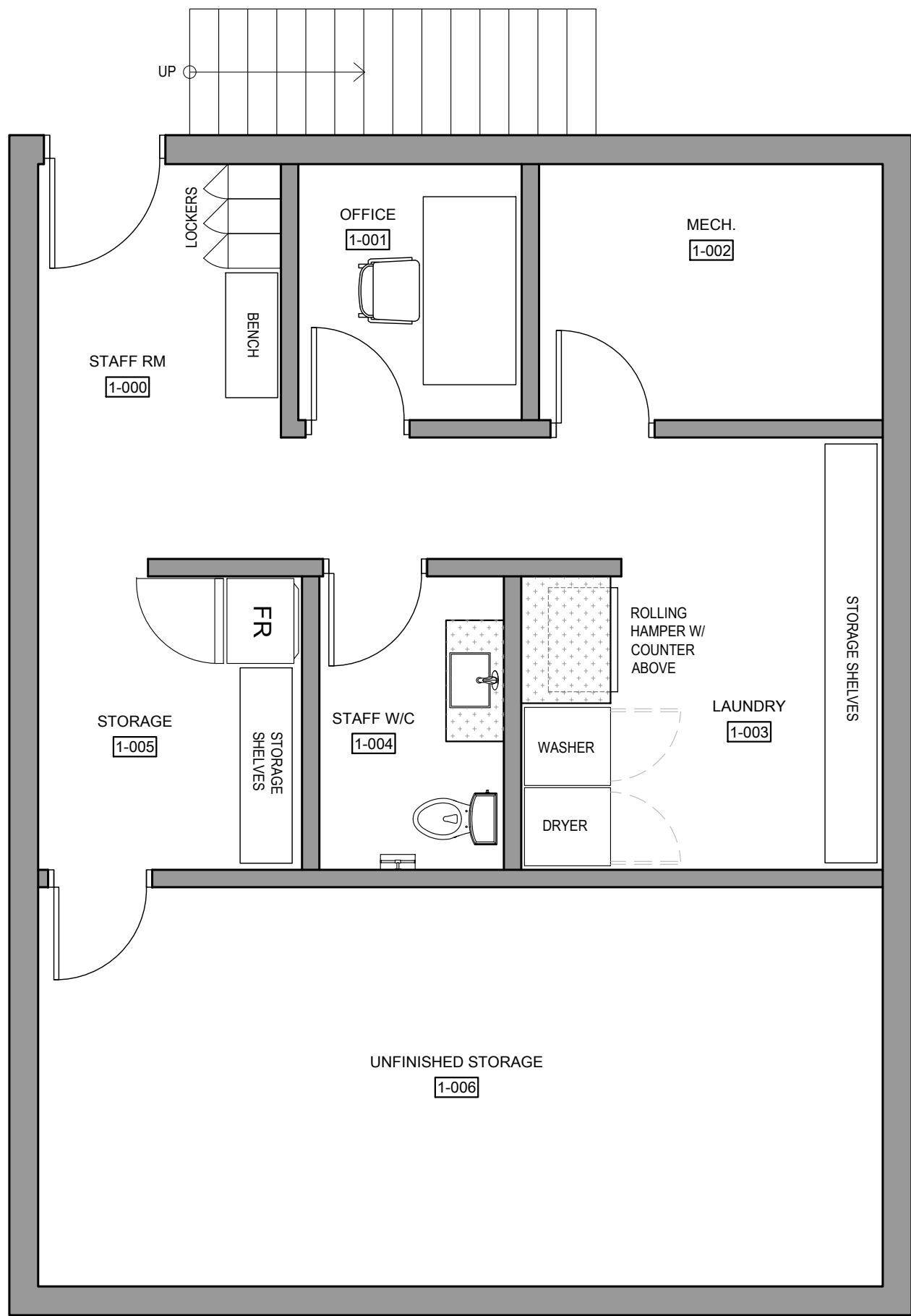


WESTGROVE

5 ADRIAN AVENUE, UNIT 202
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INFO@WEST-GROVE.CO

PROJECT NAME: LEEWARD HOUSE 53 Bruce St S, Thornbury, ON N0H 2P0	
PROJECT NO.:	
DRAWING/S: BUILDING 01 CONSTRUCTION PLANS	
DATE STARTED: 2024/10/18	DRAWING NO.:
SCALE: 1/4" = 1'-0"	ID 1.0.1
DRAWN BY: MM	
APPROVED BY: KM	



1 FURNITURE PLAN
ID-1.4.0 BASEMENT

SCALE: 1/4"=1'-0"

FURNITURE LEGEND	
SYMBOL	DESCRIPTION
	FURNITURE TAG
	DENOTES DRAPERY
	DENOTES MILLWORK LOCATIONS
	DENOTES ROOM NUMBER

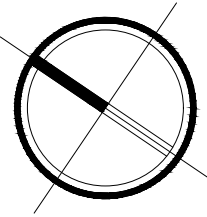
KEY NOTES	
1	RESERVED
2	RESERVED

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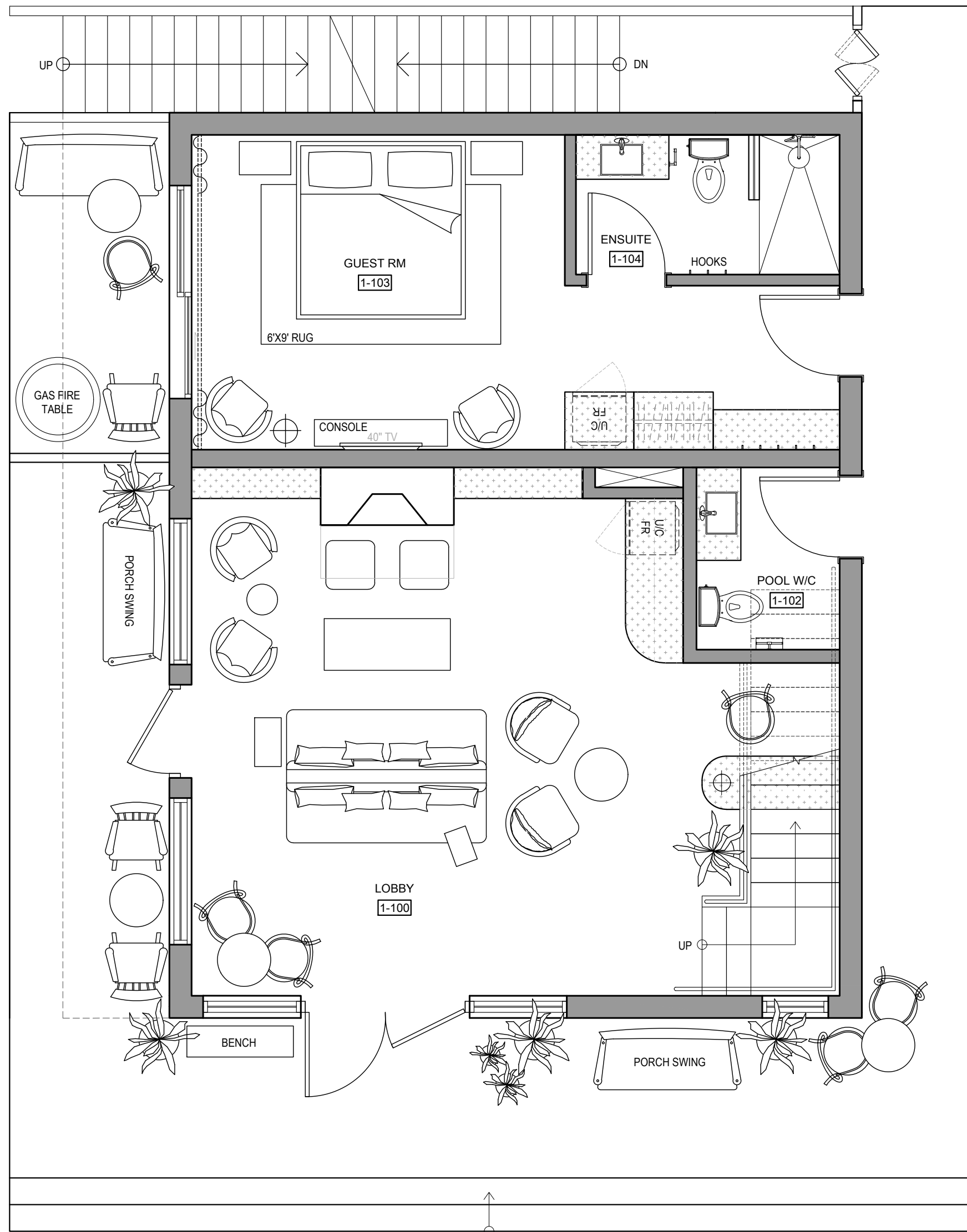


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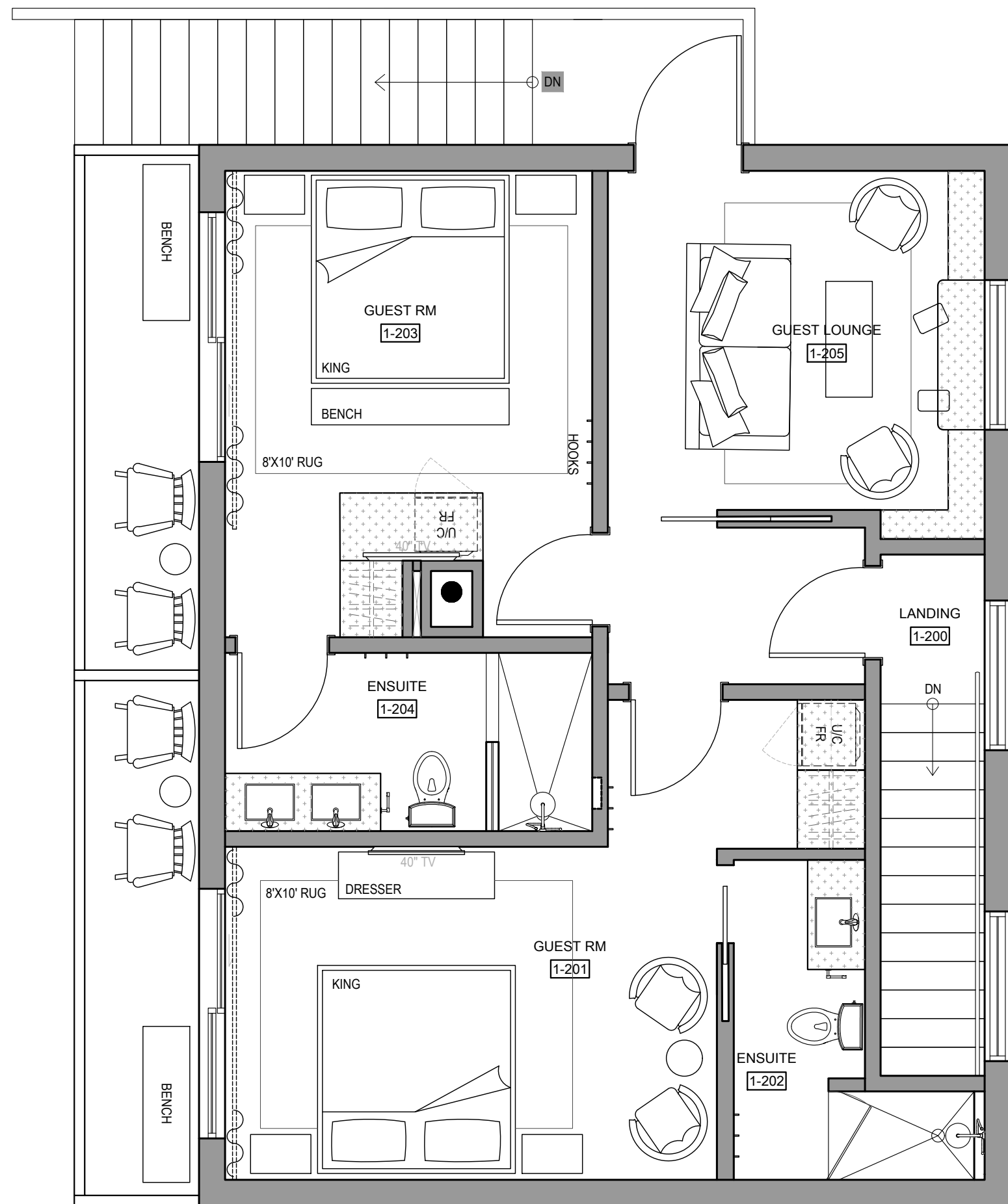
+1 416 807 1463
INFO@WEST-GROVE.CO

PROJECT NAME:	
LEEWARD HOUSE	
53 Bruce St S, Thornbury, ON N0H 2P0	
PROJECT NO.:	
DRAWING/S:	
BUILDING 01 FURNITURE PLANS	
DATE STARTED: 2024/10/18	DRAWING NO.:
SCALE: 1/4" = 1'-0"	ID 1.4.0
DRAWN BY: MM	
APPROVED BY: KM	



1 FURNITURE PLAN
ID-1.4.1 GROUND FLOOR

SCALE: 1/4"=1'-0"



2 FURNITURE PLAN
ID-1.4.1 SECOND FLOOR

SCALE: 1/4"=1'-0"

FURNITURE LEGEND	
SYMBOL	DESCRIPTION
	FURNITURE TAG
	DENOTES DRAPERY
	DENOTES MILLWORK LOCATIONS
	DENOTES ROOM NUMBER

KEY NOTES	
1	RESERVED
2	RESERVED

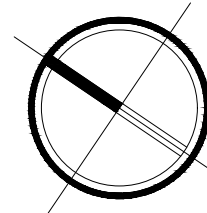
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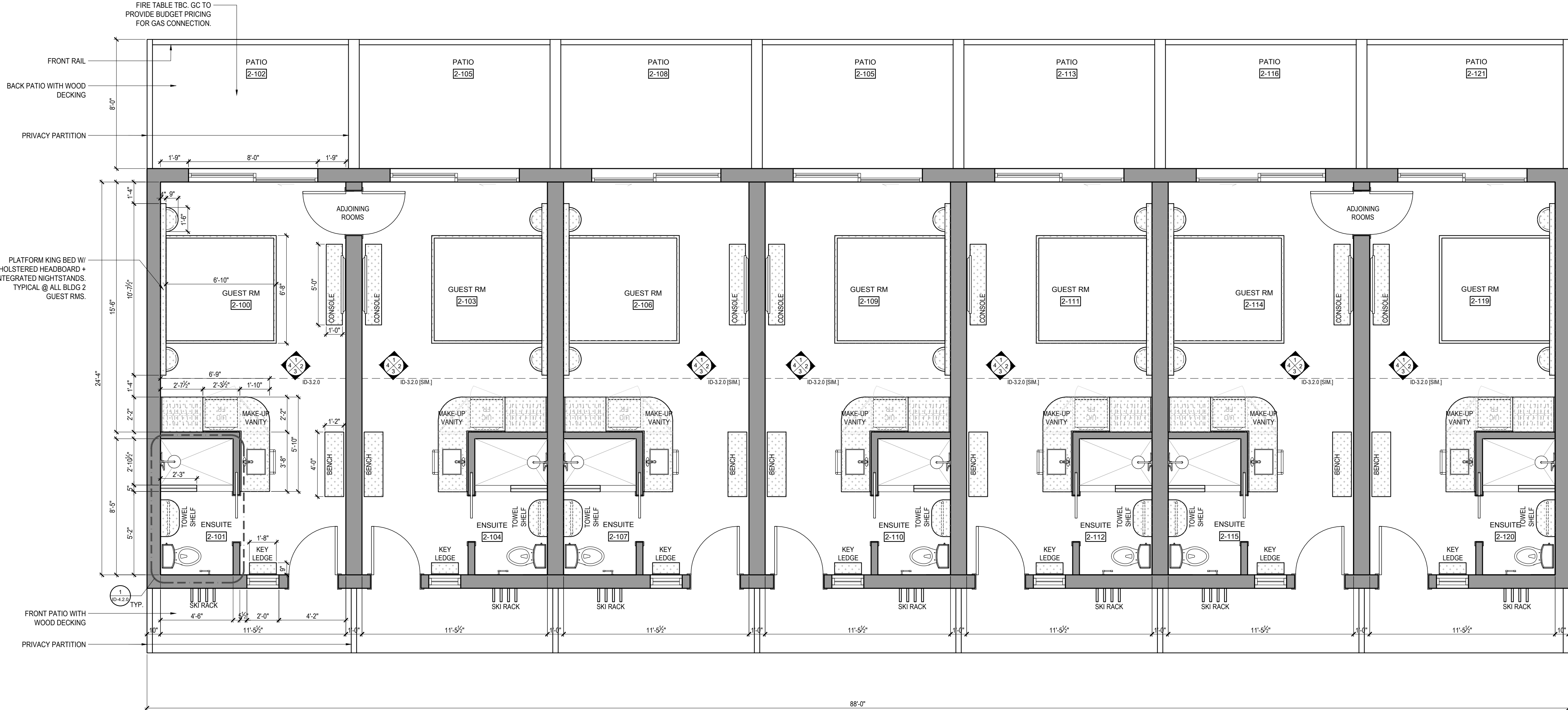


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PROJECT NAME: LEEWARD HOUSE 53 Bruce St S, Thornbury, ON N0H 2P0	
PROJECT NO.:	
DRAWING/S: BUILDING 01 FURNITURE PLANS	
DATE STARTED: 2024/10/18	DRAWING NO.:
SCALE: 1/4" = 1'-0"	ID 1.4.1
DRAWN BY: MM	
APPROVED BY: KM	



1 CONSTRUCTION PLAN
ID-2.0.0 GROUND FLOOR SCALE 1/4"=1'-0"

CONSTRUCTION LEGEND	
SYMBOL	DESCRIPTION
	DENOTES NEW PARTITION. REFER TO ARCH. PLANS FOR PARTITION DETAILS + CONSTRUCTION. REFER TO ID PLANS FOR PARTITION PLACEMENT.
	DENOTES MILLWORK LOCATIONS. PROVIDE BLOCKING IN WALL FOR WALL MOUNTED MILLWORK. REFER TO ELEVATIONS FOR FURTHER DETAILS.
	DENOTES ROOM NUMBER
	DENOTES DOOR NUMBER

KEY NOTES	
1	RESERVED
2	RESERVED

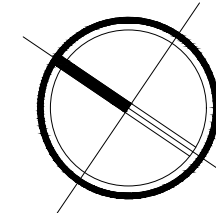
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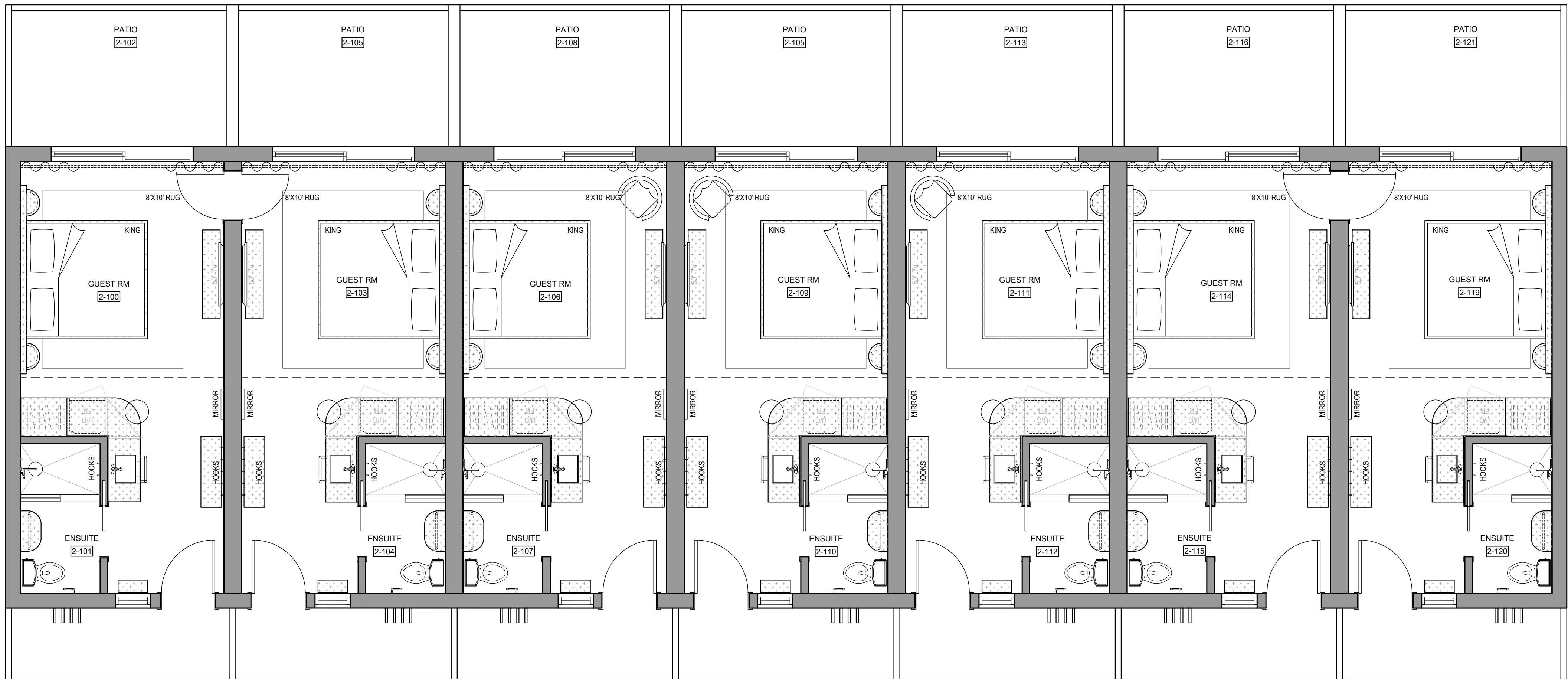
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NO.	DATE	COMMENTS	INI
REVISIONS:			



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TORONTO, ON M6N 5G4
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PROJECT NAME: LEEWARD HOUSE 53 Bruce St S, Thornbury, ON N0H 2P0	
PROJECT NO.:	
DRAWING/S: BUILDING 02 CONSTRUCTION PLAN	
DATE STARTED: 2024/10/18	DRAWING NO.:
SCALE: 1/4" = 1'-0"	ID 2.0.0
DRAWN BY: MM	
APPROVED BY: KM	



1 FURNITURE PLAN
ID-2.4.0 GROUND FLOOR SCALE 1/4"=1'-0"

FURNITURE LEGEND	
SYMBOL	DESCRIPTION
	FURNITURE TAG
	DENOTES MILLWORK LOCATIONS
	DENOTES ROOM NUMBER
KEY NOTES	
1	RESERVED
2	RESERVED

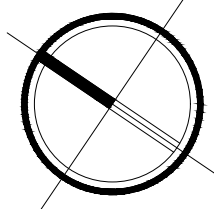
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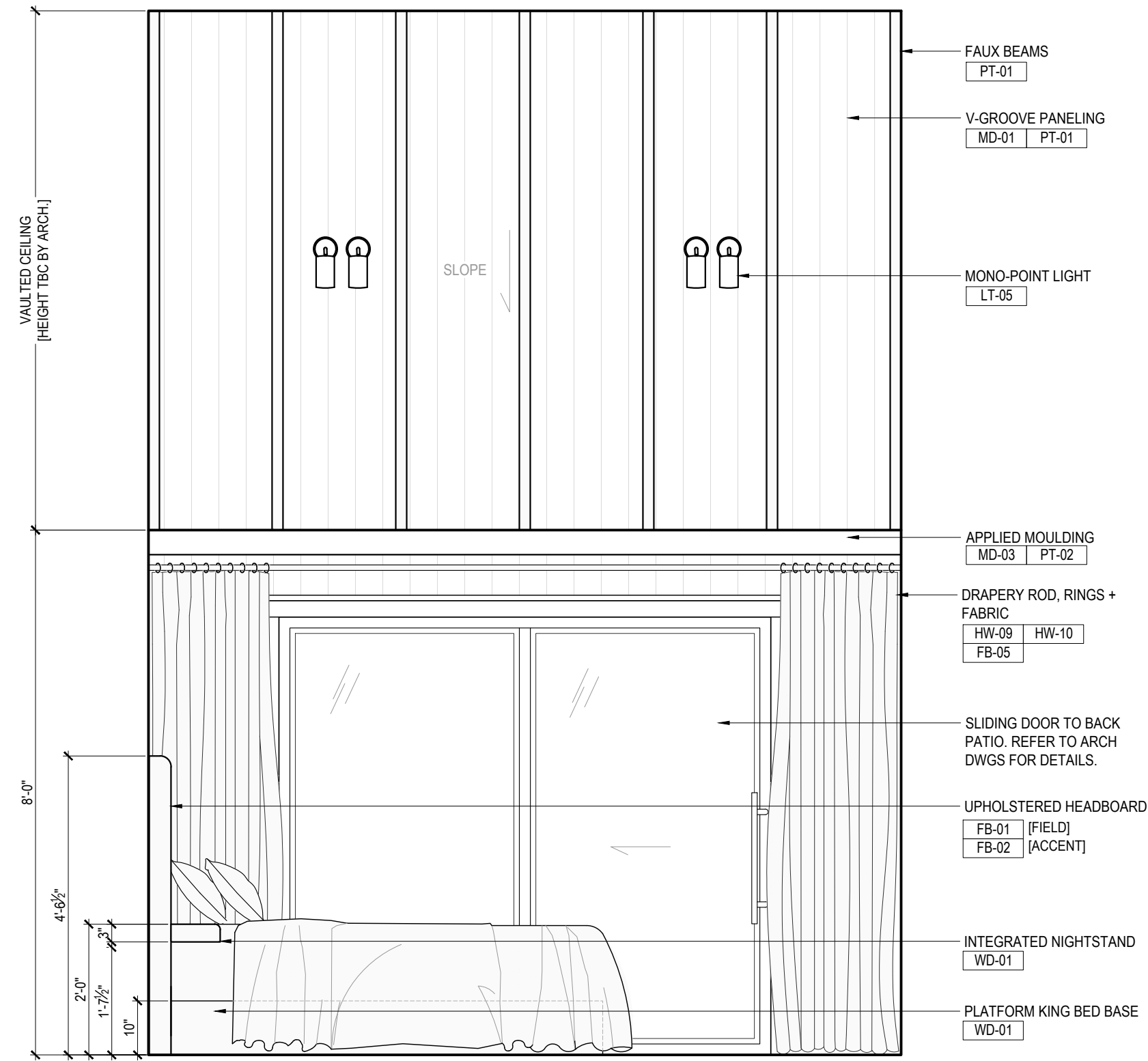


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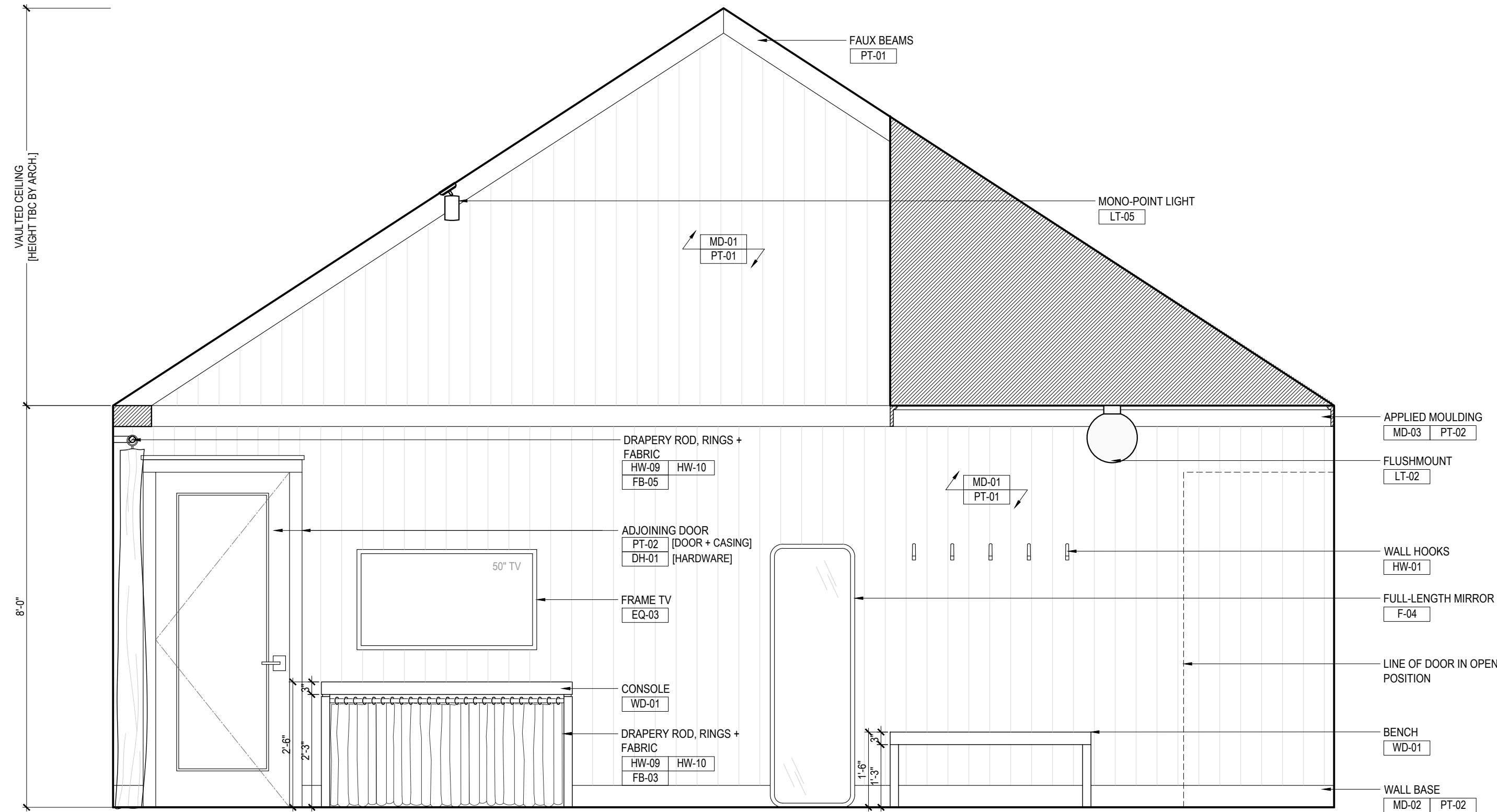
5 ADRIAN AVENUE, UNIT 202
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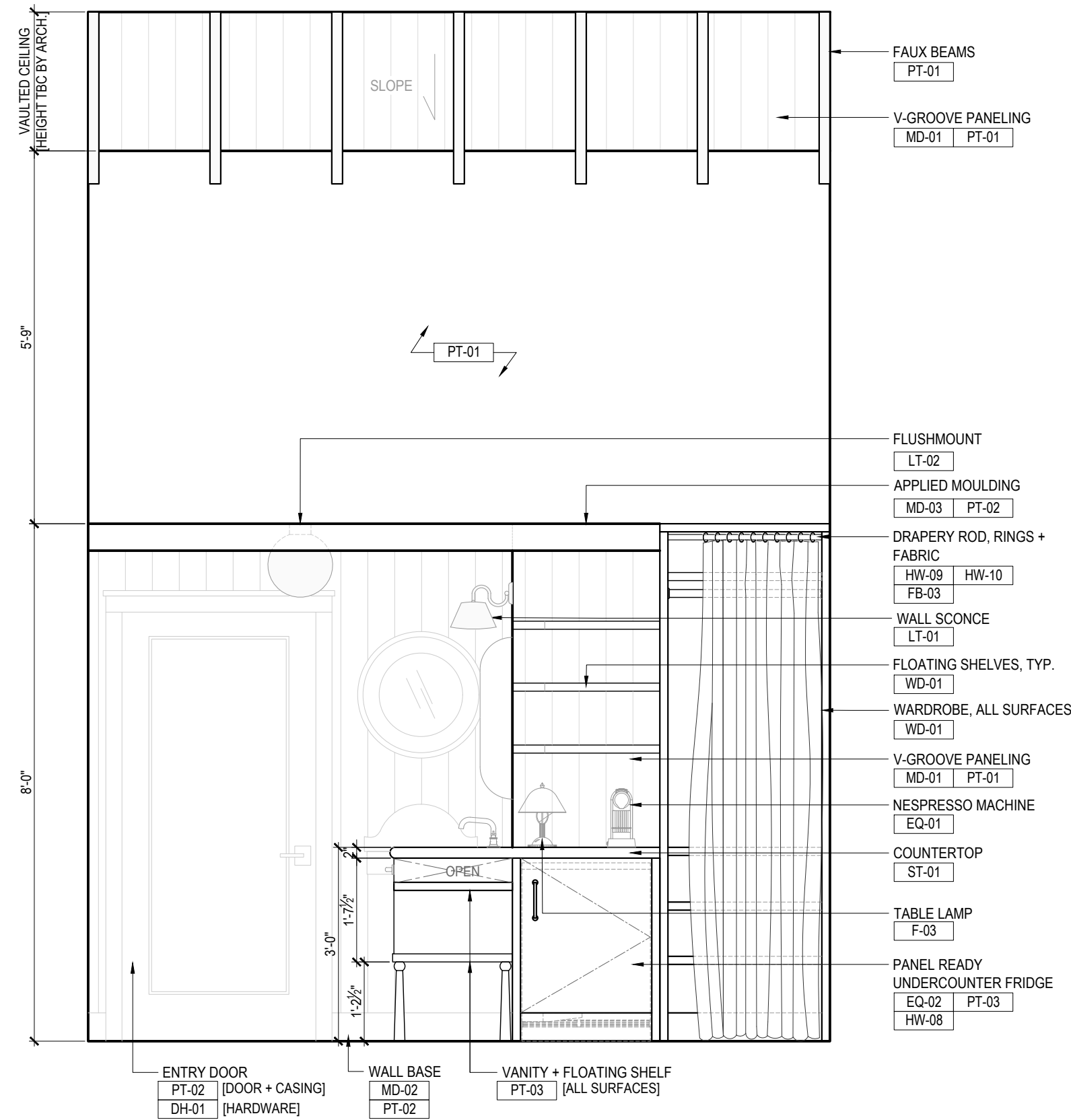
PROJECT NAME:	
LEEWARD HOUSE	
53 Bruce St S, Thornbury, ON N0H 2P0	
PROJECT NO.:	
DRAWING/S:	
BUILDING 02 FURNITURE PLANS	
DATE STARTED: 2024/10/18	DRAWING NO.:
SCALE: 1/4" = 1'-0"	ID 2.4.0
DRAWN BY: MM	
APPROVED BY: KM	



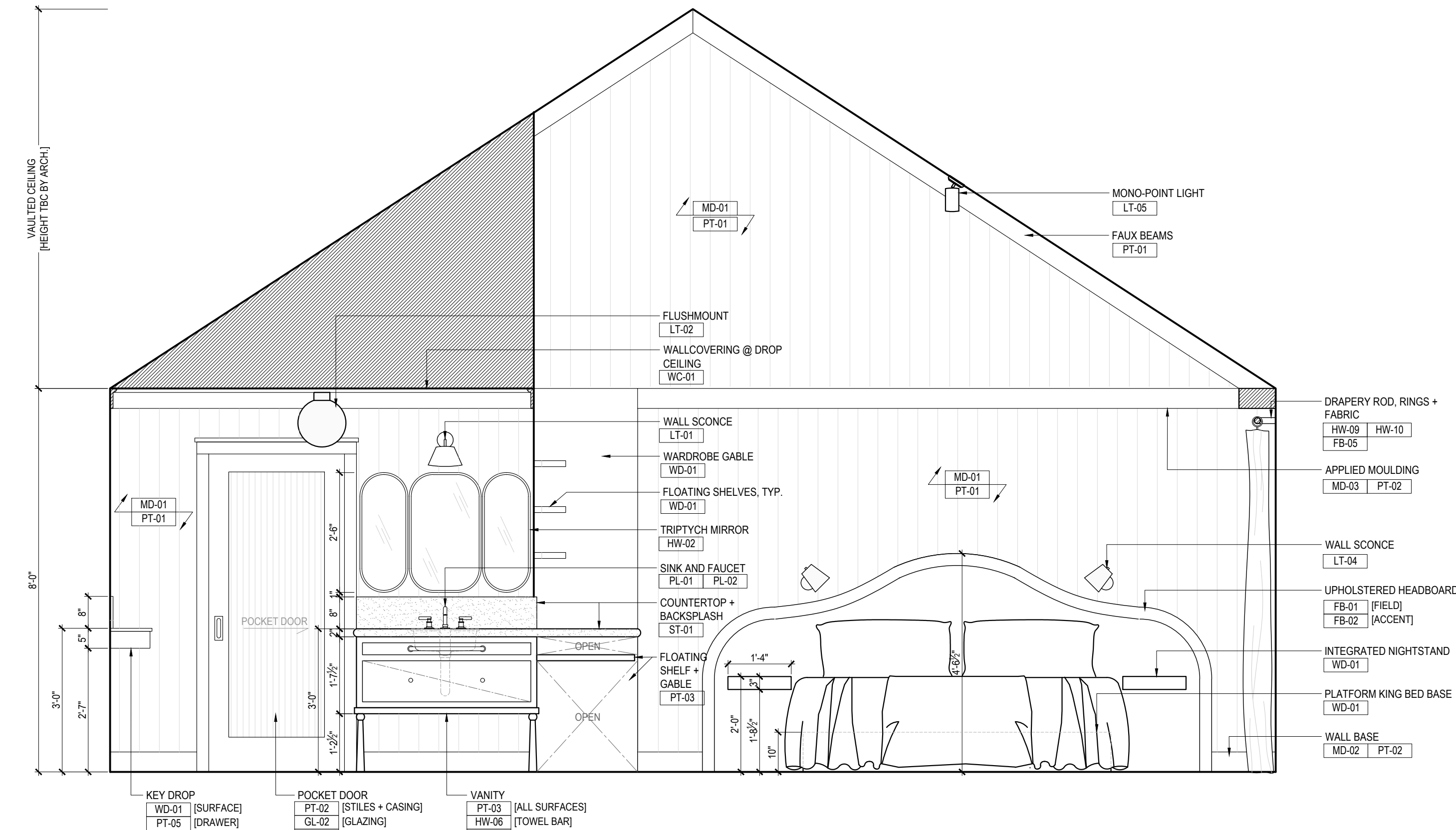
1 NORTH ELEVATION
ID-3.2.0 ADJOINING SUITE ELEVATIONS SCALE: 1/2"=1'-0"



2 EAST ELEVATION
ID-3.2.0 ADJOINING SUITE ELEVATIONS SCALE: 1/2"=1'-0"



3 SOUTH ELEVATION
ID-3.2.0 ADJOINING SUITE ELEVATIONS SCALE: 1/2"=1'-0"



4 WEST ELEVATION
ID-3.2.0 ADJOINING SUITE ELEVATIONS SCALE: 1/2"=1'-0"

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PROJECT NAME:

LEEWARD HOUSE

53 Bruce St S, Thornbury, ON N0H 2P0

PROJECT NO.:

DRAWING/S:

BUILDING 02
ADJOINING SUITE ELEVATIONS

DATE STARTED: 2024/10/18

SCALE: 1/2" = 1'-0"

DRAWN BY: MM

APPROVED BY: KM

DRAWING NO.:

ID

3.2.0



1
ID-3.2.1

ADJOINING SUITE RENDER
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2
ID-3.2.1

ADJOINING SUITE RENDER
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NTS

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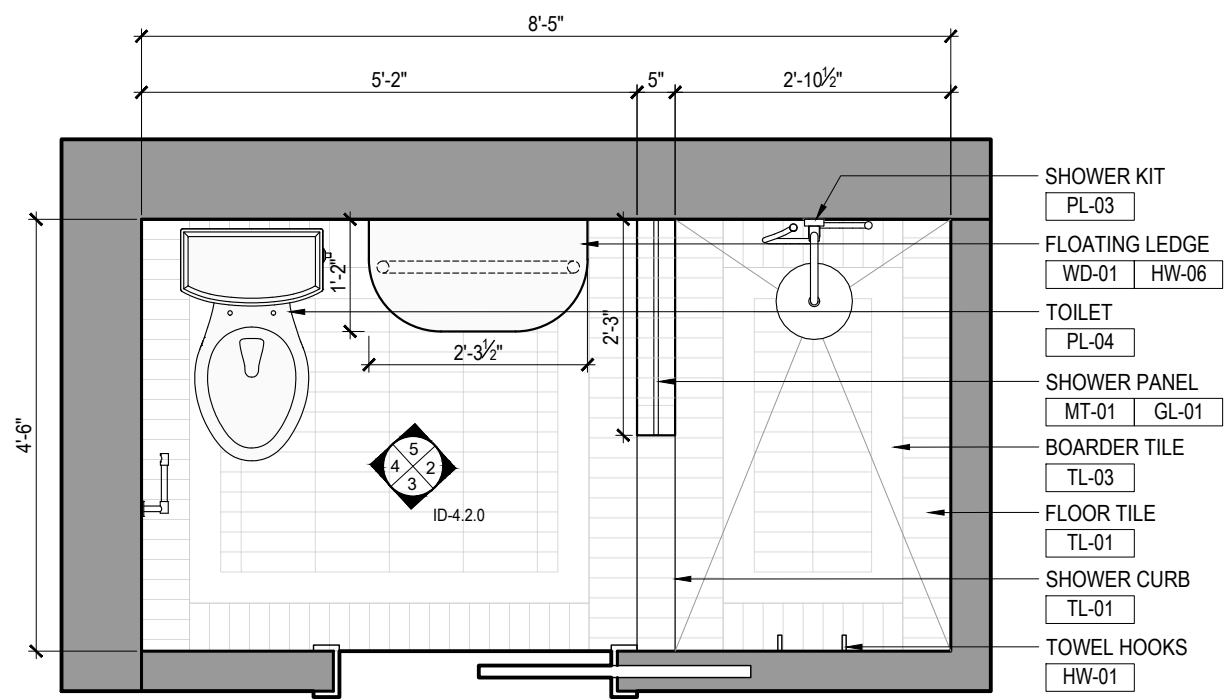
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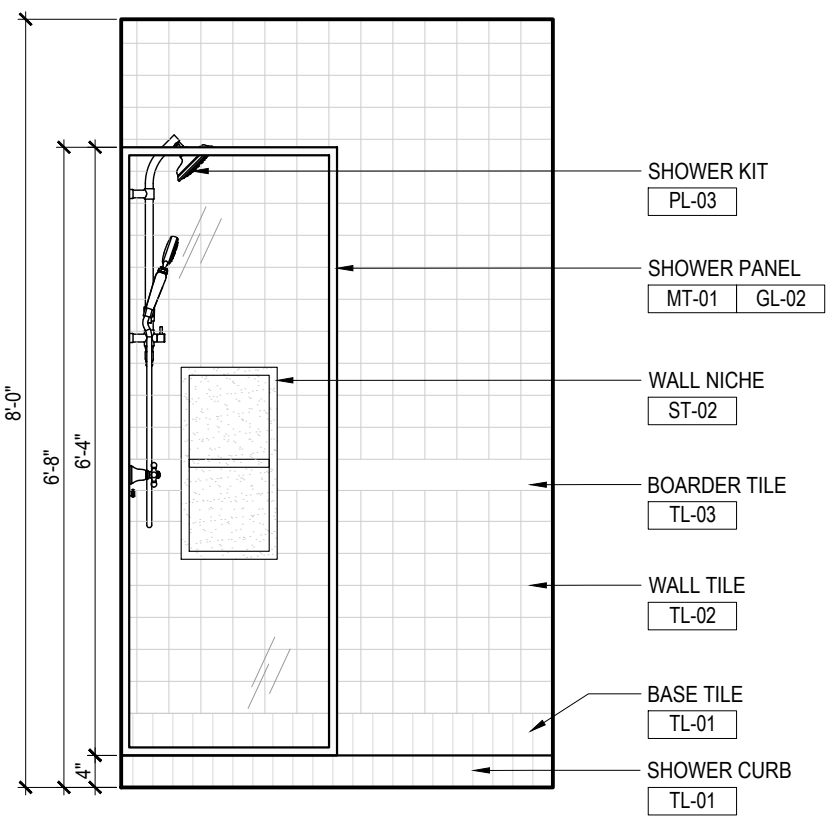
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PROJECT NAME: LEEWARD HOUSE 53 Bruce St S, Thornbury, ON N0H 2P0	
PROJECT NO.: DRAWING/S: BUILDING 02 ADJOINING SUITE ELEVATIONS	
DATE STARTED: 2024/10/18	DRAWING NO.:
SCALE: 1/2" = 1'-0"	ID 3.2.1
DRAWN BY: MM	
APPROVED BY: KM	



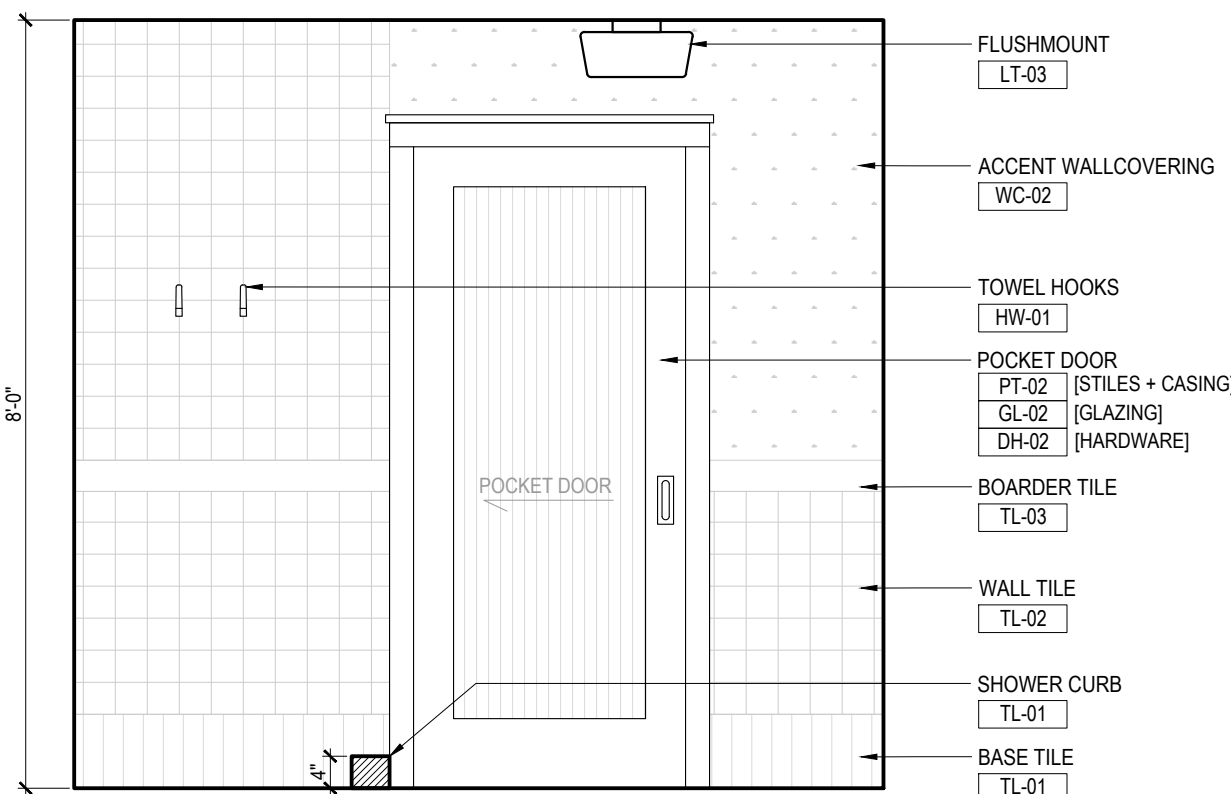
- SHOWER KIT
PL-03
- FLOATING LEDGE
WD-01 | HW-06
- TOILET
PL-04
- SHOWER PANEL
MT-01 | GL-01
- BOARDER TILE
TL-03
- FLOOR TILE
TL-01
- SHOWER CURB
TL-01
- TOWEL HOOKS
HW-01

1
ID-4.2.0
DETAIL PLAN
TYPICAL ENSUITE ELEVATIONS
SCALE 1/2"=1'-0"



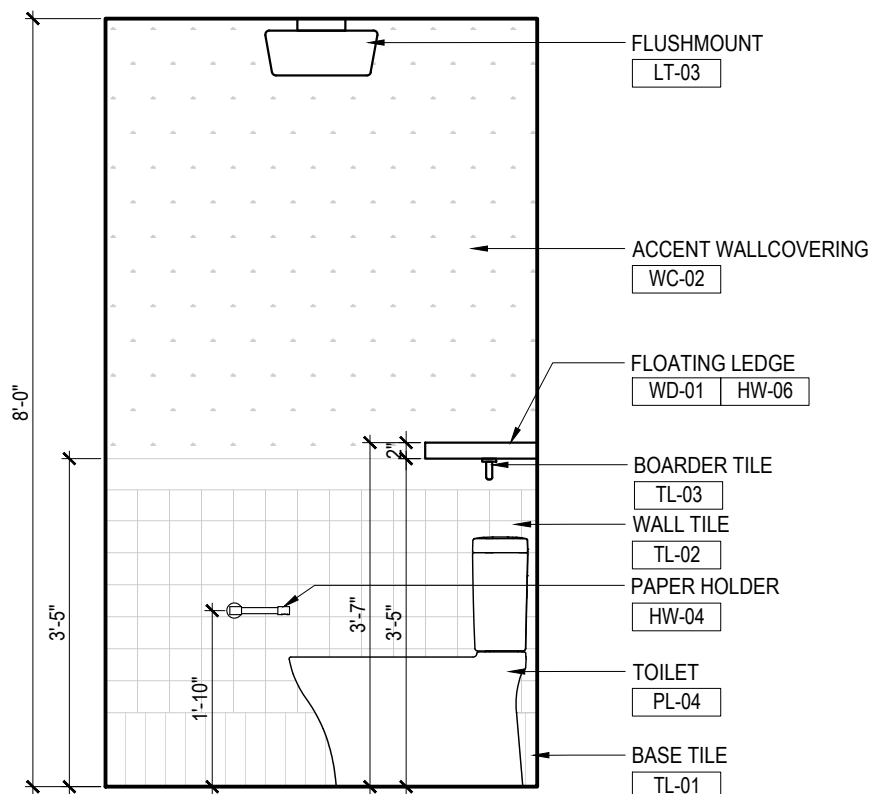
- SHOWER KIT
PL-03
- SHOWER PANEL
MT-01 | GL-02
- WALL NICHE
ST-02
- BOARDER TILE
TL-03
- WALL TILE
TL-02
- BASE TILE
TL-01
- SHOWER CURB
TL-01

2
ID-4.2.0
NORTH ELEVATION
TYPICAL ENSUITE ELEVATIONS
SCALE 1/2"=1'-0"



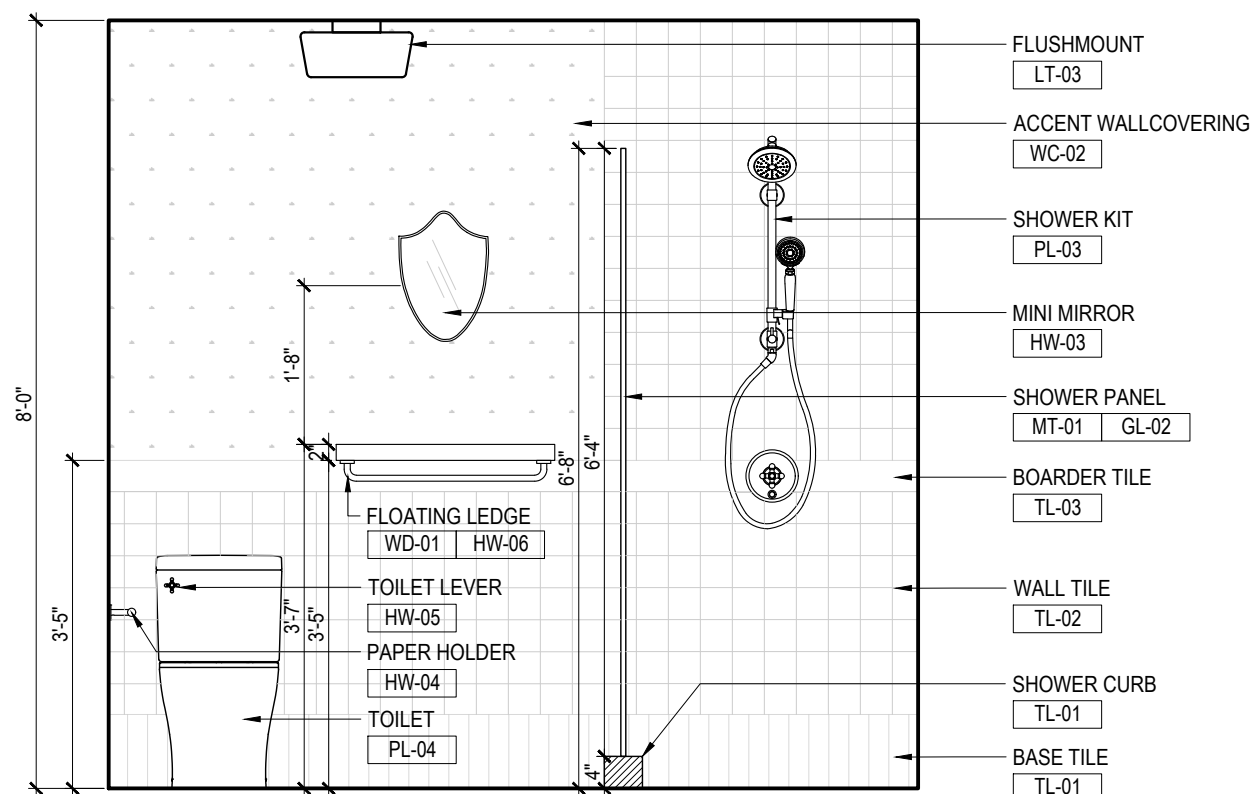
- FLUSHMOUNT
LT-03
- ACCENT WALLCOVERING
WC-02
- TOWEL HOOKS
HW-01
- POCKET DOOR
PT-02 (STILES + CASING)
GL-02 (GLAZING)
DH-02 (HARDWARE)
- BOARDER TILE
TL-03
- WALL TILE
TL-02
- SHOWER CURB
TL-01
- BASE TILE
TL-01

3
ID-4.2.0
EAST ELEVATION
TYPICAL ENSUITE ELEVATIONS
SCALE 1/2"=1'-0"



- FLUSHMOUNT
LT-03
- ACCENT WALLCOVERING
WC-02
- FLOATING LEDGE
WD-01 | HW-06
- BOARDER TILE
TL-03
- WALL TILE
TL-02
- PAPER HOLDER
HW-04
- TOILET
PL-04
- BASE TILE
TL-01

4
ID-4.2.0
SOUTH ELEVATION
TYPICAL ENSUITE ELEVATIONS
SCALE 1/2"=1'-0"



- FLUSHMOUNT
LT-03
- ACCENT WALLCOVERING
WC-02
- SHOWER KIT
PL-03
- MINI MIRROR
HW-03
- SHOWER PANEL
MT-01 | GL-02
- BOARDER TILE
TL-03
- WALL TILE
TL-02
- SHOWER CURB
TL-01
- BASE TILE
TL-01

5
ID-4.2.0
WEST ELEVATION
TYPICAL ENSUITE ELEVATIONS
SCALE 1/2"=1'-0"

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6
ID-4.2.0
TYPICAL ENSUITE RENDER
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PROJECT NAME: LEEWARD HOUSE 53 Bruce St S, Thornbury, ON N0H 2P0	
PROJECT NO.: DRAWING/S: BUILDING 02 TYPICAL ENSUITE ELEVATIONS	
DATE STARTED: 2024/10/18	DRAWING NO.:
SCALE: 1/2" = 1'-0"	ID 3.4.0
DRAWN BY: KR	
APPROVED BY: KM	