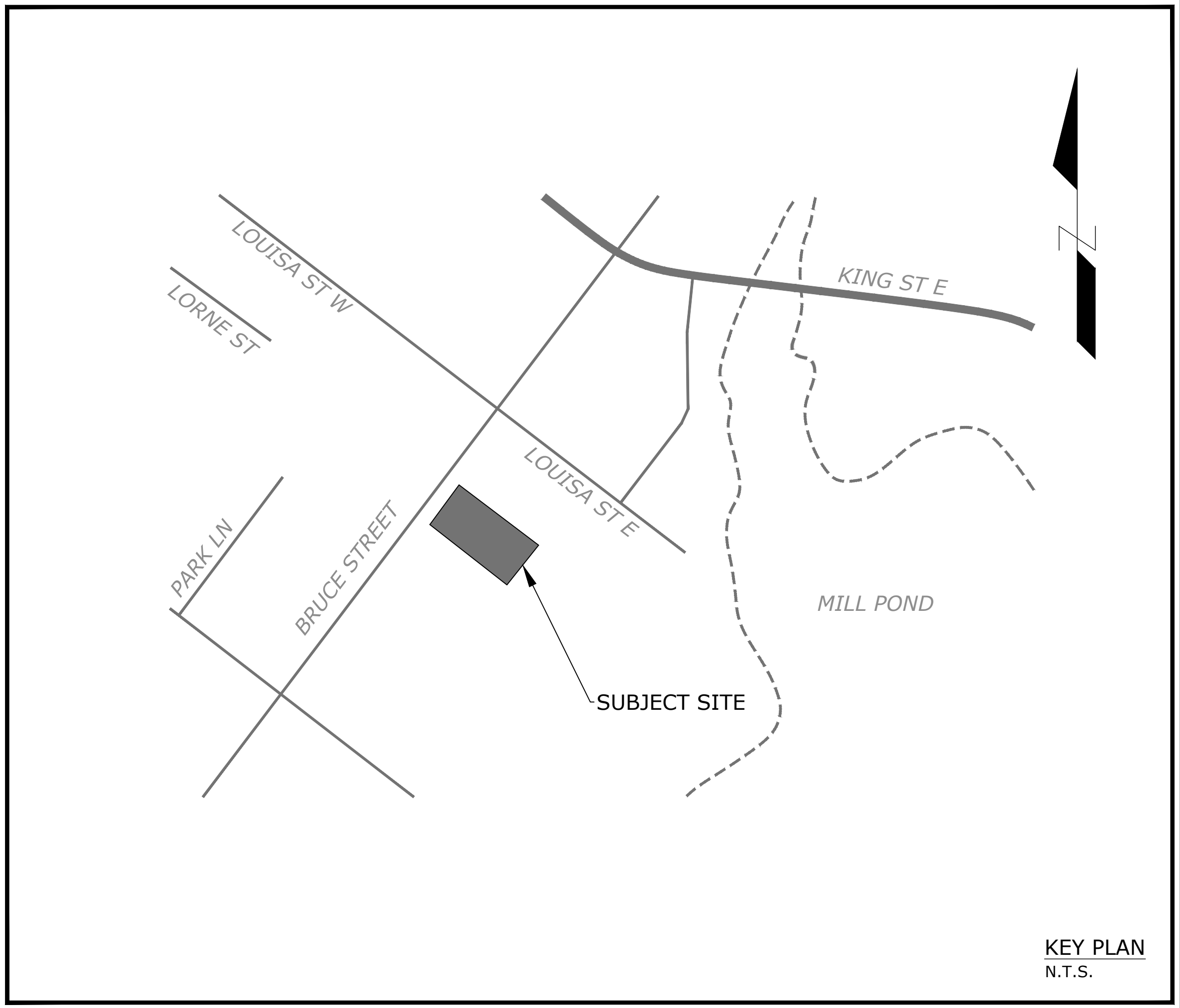


2417762 ONTARIO INC.

#53 BRUCE STREET SOUTH
TOWN OF BLUE MOUNTAINS

DRAWING INDEX

	COVER SHEET
C1	REMOVALS AND EROSION & SEDIMENT CONTROL
C2	SITE GRADING AND SERVICING PLAN
C3	POST DEVELOPMENT DRAINAGE PLAN
C4	STANDARD DETAILS

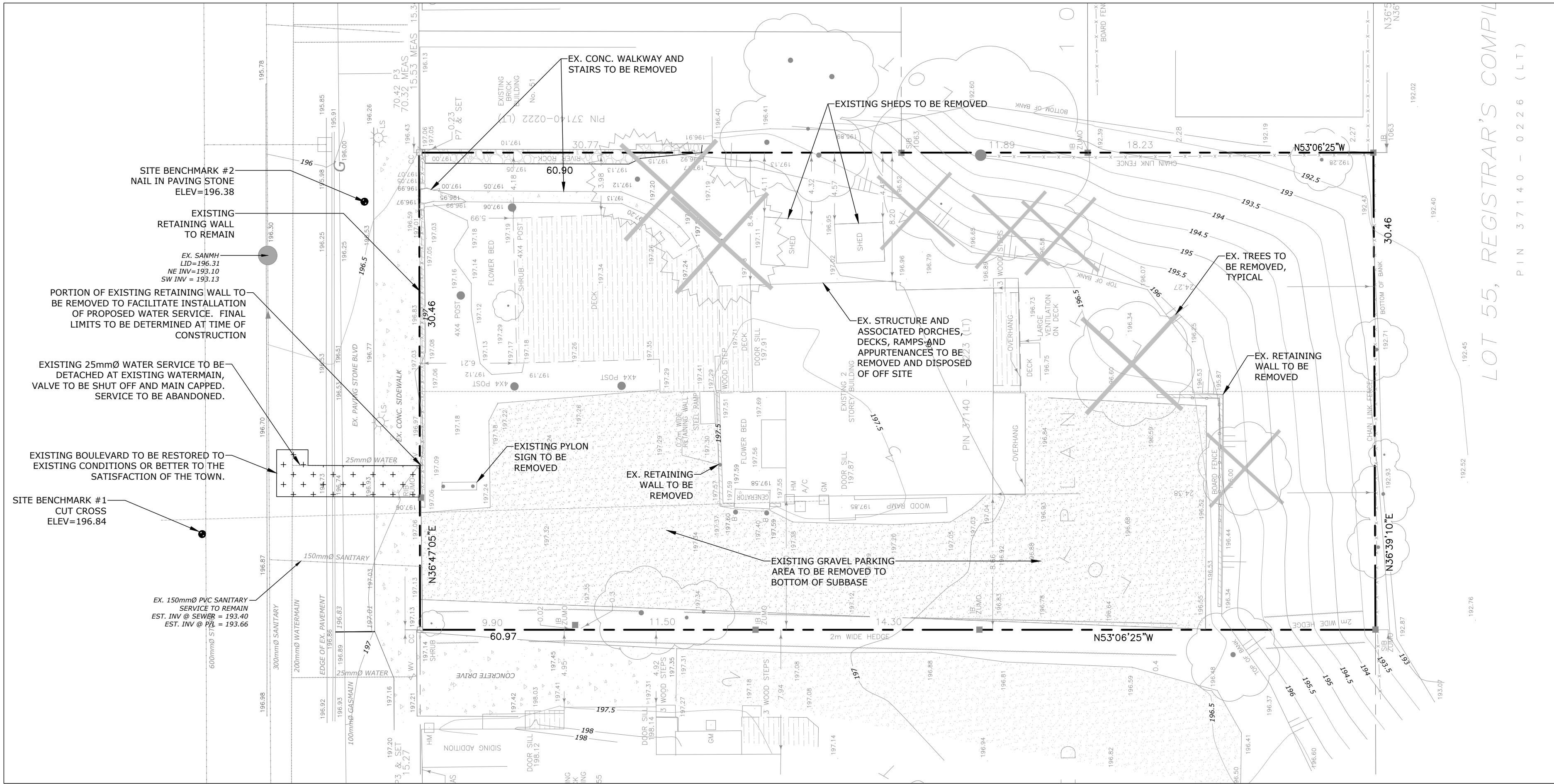


2417762 Ontario Inc.

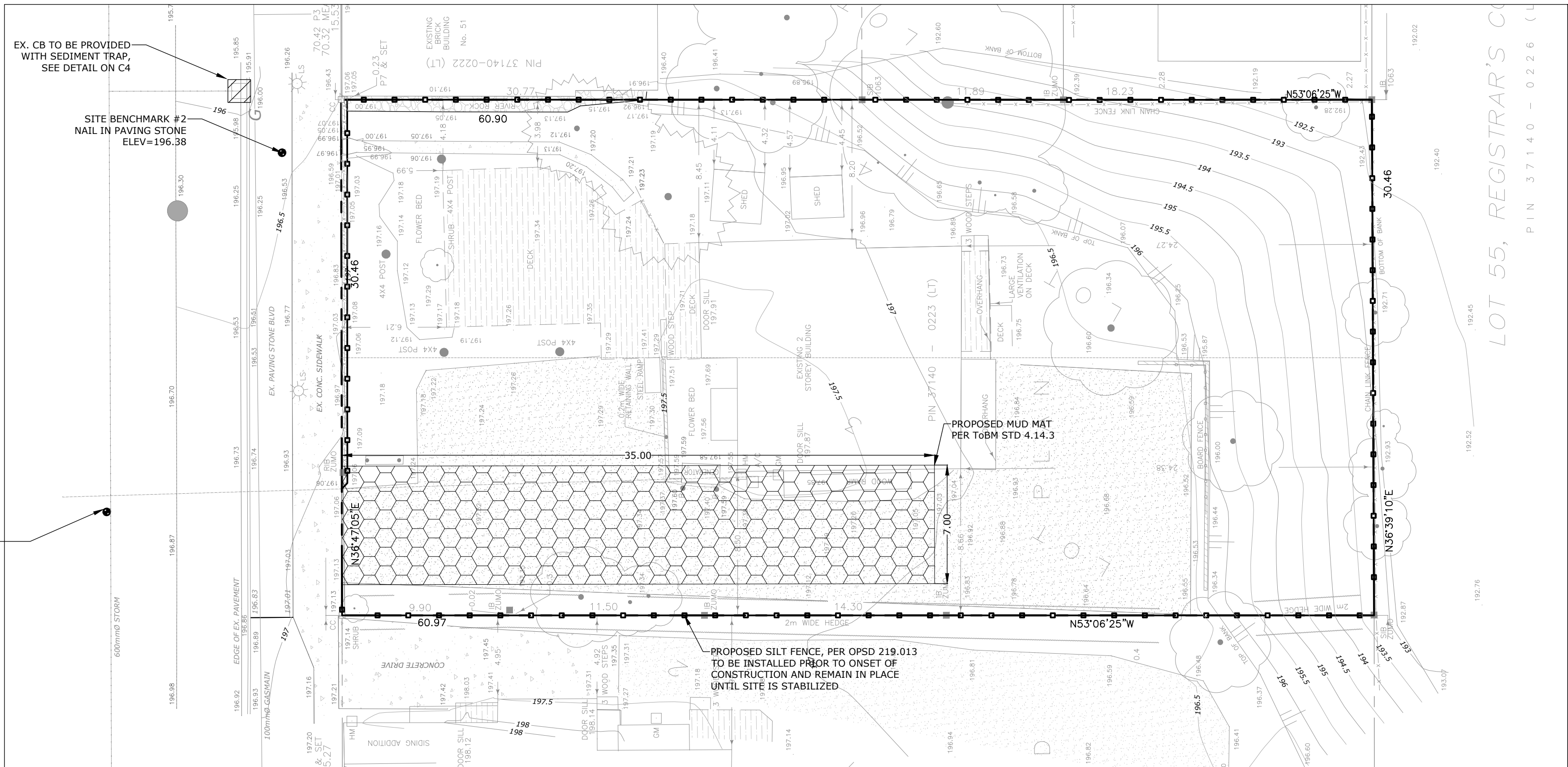
Project No. 2024-094

ISSUED FOR APPROVALS - 24/10/23

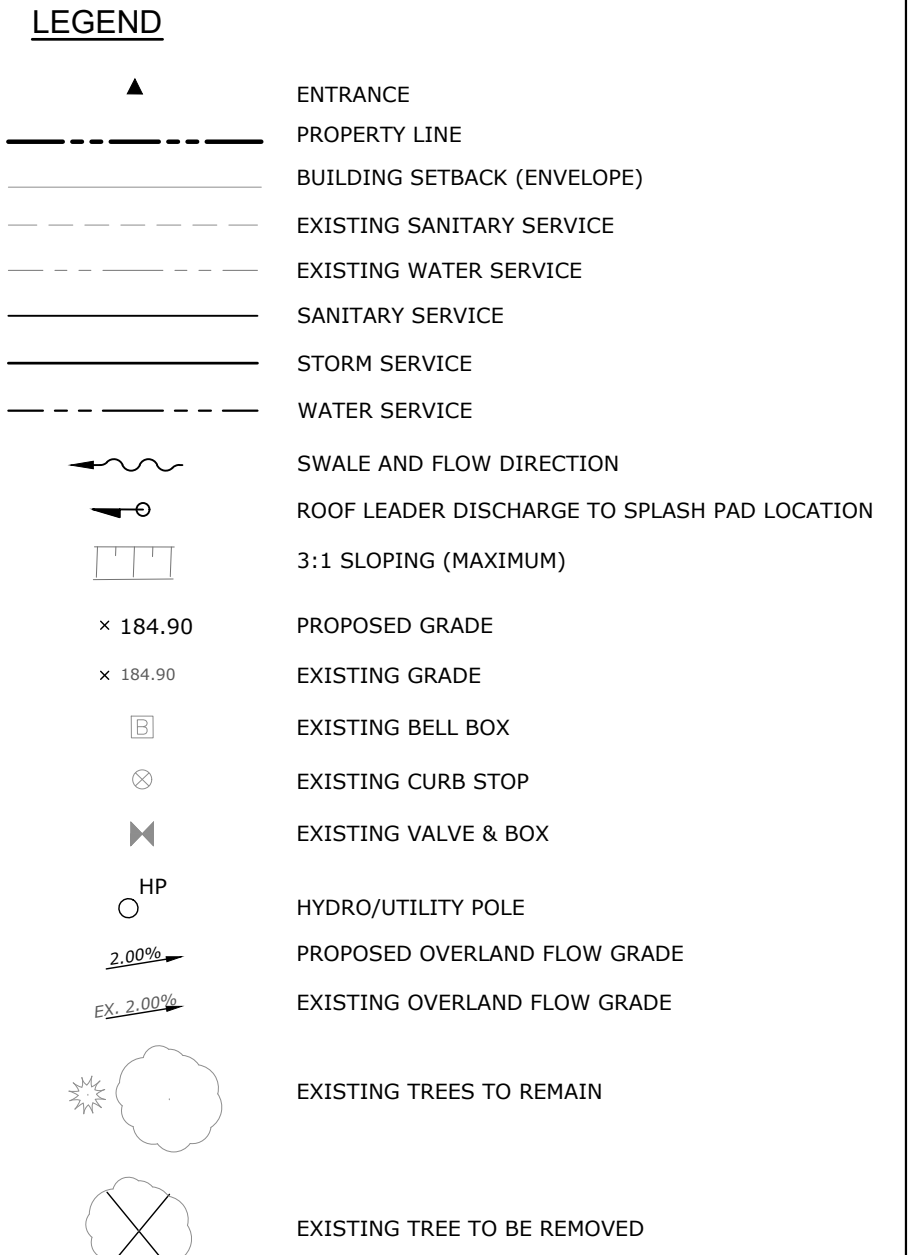
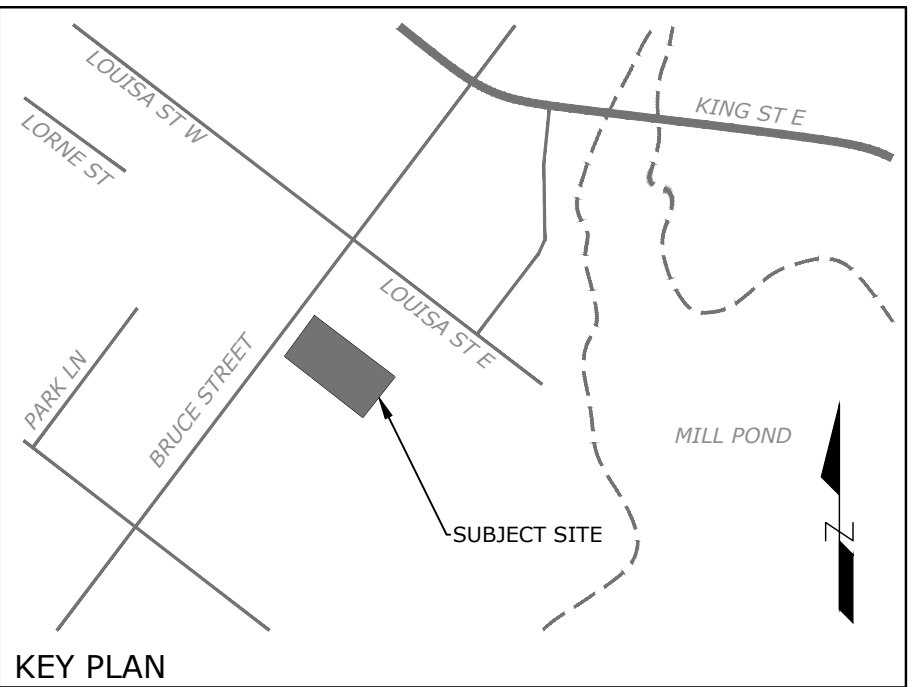




REMOVALS PLAN



EROSION AND SEDIMENT CONTROL PLAN



NOTES

1. THE OWNER/BUILDER/APPLICANT MUST OBTAIN A ROAD OCCUPANCY PERMIT FROM PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS.
2. A COPY OF THE "ACCEPTED FOR CONSTRUCTION" LOT GRADING AND DRAINAGE PLAN IS ALWAYS TO BE ON SITE FOR REFERENCE DURING CONSTRUCTION.
3. THE OWNER IS RESPONSIBLE FOR OBTAINING UTILITY AND SERVICING LOCATES PRIOR TO ANY WORKS BEING UNDERTAKEN.
4. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT MIGRATION OF SILT AND SEDIMENT FROM THE SUBJECT LOT TO ANY ADJACENT LOT, INCLUDING MUNICIPAL RIGHT-OF-WAY. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT SILT AND SEDIMENT LADEN SURFACE WATER DOES NOT ENTER ANY WATERCOURSES OR ENVIRONMENTALLY SENSITIVE AREAS, EITHER OVERLAND OR THROUGH THE STORM DRAINAGE SYSTEM.
5. ALL DOWNSPOUTS, SUMP PUMP AND OTHER DRAINAGE DISCHARGE POINTS SHALL DISCHARGE ONTO A SPLASH PAD OR APPROVED EQUIVALENT.
6. ALL DISTURBED AREAS ARE TO BE SOODED OVER A MINIMUM OF 100MM OF TOPSOIL OR APPROVED ALTERNATIVE GROUND COVER.
7. ALL WORK WITHIN THE TOWNSHIP RIGHT-OF-WAY MUST BE RESTORED TO EQUAL OR BETTER CONDITION.
8. RETAINING WALLS ARE TO BE CONSTRUCTED OF ACCEPTABLE ARCHITECTURAL BLOCK OR APPROVED EQUIVALENT. FILTER CLOTH SHALL BE PLACED BEHIND ALL RETAINING WALLS TO PREVENT THE MIGRATION OF FINES. RETAINING WALLS ARE NOT TO ENCRoACH INTO THE MUNICIPAL ROAD ALLOWANCE.
9. THE OWNER/BUILDER/APPLICANT MUST OBTAIN A ROAD OCCUPANCY PERMIT FROM PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS.
10. INTERIM GRADING MEASURES MAY BE REQUIRED DURING BUILDING CONSTRUCTION TO ENSURE THAT DRAINAGE DOES NOT ADVERSELY AFFECT THE NEIGHBORING PROPERTIES. ROUGH GRADING OF THE PROPERTY SHALL BE COMPLETED SUCH THAT DRAINAGE IS CONTAINED ON SITE OR CONTROLLED TO A POSITIVE OUTLET.
11. HEADWALLS SHALL BE CONSTRUCTED OF R151 STONE (RISA 2) ARCHITECTURAL BLOCK, COMPLETE WITH FILTER CLOTH TO PREVENT THE MIGRATION OF FINES.
12. ALL SWALES SHALL HAVE A MINIMUM DEPTH OF 150mm; 150mm DIAMETER SUBDRAINS SHALL BE PROVIDED UNDER ALL SWALES WITH GRADIENTS LESS THAN 1.0%. SUBDRAINS SHALL BE PERFORATED, CORRUGATED PIPE WITH GEOTEXTILE AND BE BEDDED IN A 300mmx300mm CLEAR STONE TRENCH WRAPPED WITH FILTER CLOTH.
13. EXISTING VEGETATION ON SITE TO BE REMOVED AND DISPOSED OF OFF SITE BEFORE LOT GRADING WORK AS SPECIFIED.
14. FOOTING WIDTH SHALL BE PER O.B.C. SECTION 9.15.3.4 WITH WIDTH ADJUSTMENTS IF FOOTINGS ARE LOCATED NEAR SEASONALLY HIGH GROUNDWATER AS PER O.B.C. SECTION 9.15.3.4.3.
15. AS PER SECTION 4.2.2.1 OF O. REG 332/12 BUILDING CODE A SUBSURFACE INVESTIGATION INCLUDING GROUNDWATER CONDITIONS IS REQUIRED PRIOR TO PLACING THE FOUNDATION. THE UNDERSIDE OF FLOOR SLAB AND ASSOCIATED DRAINS SHALL BE ENTIRELY LOCATED A MINIMUM SEPARATION OF 0.4m ABOVE THE SEASONAL HIGH GROUNDWATER LEVEL, OR AS REQUIRED PER HYDROSTATIC PRESSURES, BASED ON THE SUBSURFACE INVESTIGATION.
16. NO SUBSURFACE INVESTIGATION INFORMATION WAS PROVIDED BY THE OWNER PRIOR TO THE COMPLETION OF THIS LOT GRADING PLAN. ADJUSTMENTS TO THE GRADING INCLUDING THE FOUNDATION LEVEL MAY BE REQUIRED FOLLOWING THE COMPLETION OF THE SUBSURFACE INVESTIGATION. IF THE SUBSURFACE INVESTIGATION DEMONSTRATES A NEED TO ALTER THE BUILDING ELEVATIONS, THE OWNER/CONTRACTOR IS TO INFORM CAPES ENGINEERING LTD.
17. IT IS THE OWNER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL GROUNDWATER SEPARATIONS ARE ADHERED TO PRIOR TO CONSTRUCTION.

Notes
1. This drawing is the exclusive property of CAPES Engineering Ltd. The reproduction of any part without express written consent of this Corporation is strictly prohibited.
2. The contractor shall verify all dimensions, levels, and datums on site and report any discrepancies or omissions to CAPES Engineering Ltd. prior to construction.
3. This drawing is to be read and understood in conjunction with all other plans and documents applicable to this project.
4. CAPES Engineering Ltd. accepts no responsibility for interpretation of third party information, contractor to verify all third party information prior to construction.
5. This is not a plan of survey. Any and all representation of property boundaries are approximate only.

No	Revision	Date
1	ISSUED FOR FIRST SUBMISSION	24/10/23

NOTES:
BOUNDARY SURVEY INFORMATION:
EXTRAPOLATED FROM SURVEYOR'S REAL PROPERTY REPORT WITH TOPOGRAPHICAL DATA, ALL OF LOTS 3 & 4, REGISTERED PLAN 103, GEOGRAPHIC TOWNSHIP OF THORNHURST, TOWN OF BLUE MOUNTAINS, COUNTY OF GREY, PREPARED BY VAN HARTEN SURVEYING INC., 2021.
TOPOGRAPHICAL INFORMATION:
TOPOGRAPHICAL SURVEY COMPLETED BY VAN HARTEN SURVEYING INC., 2021.
ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CGRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CYG02B DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.
SITE BENCHMARKS:
1 - CUT CROSS ON NORTH SIDE OF BRUCE ST, NORTHWEST OF SOUTHWEST CORNER OF SUBJECT PROPERTY: ELEV = 196.84m
2 - NAIL IN PAVING STONE WEST OF NORTHWEST CORNER OF SUBJECT PROPERTY: ELEV = 196.38m



Client
2417762 Ontario Inc.

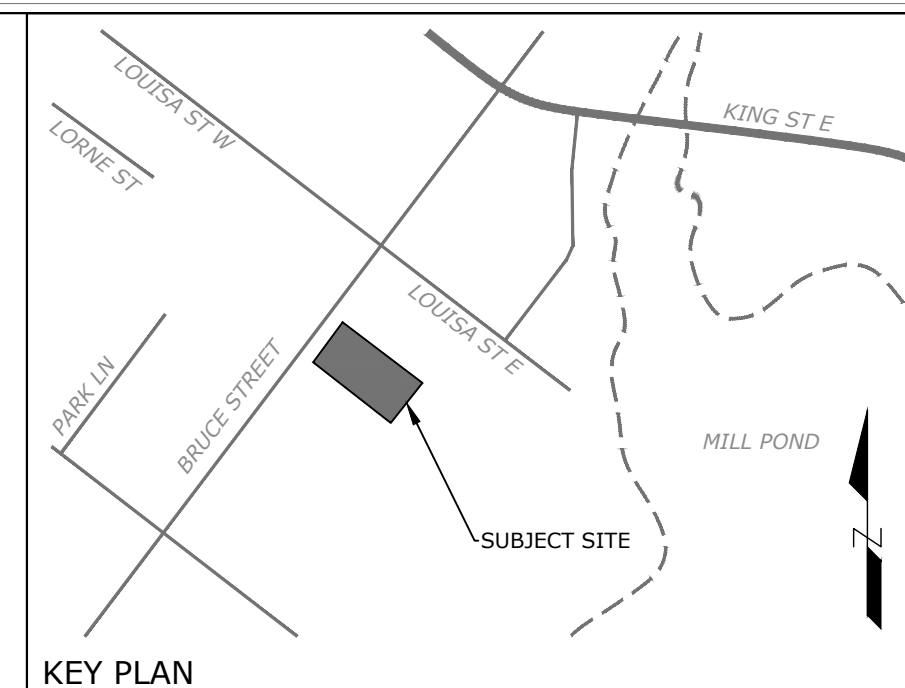
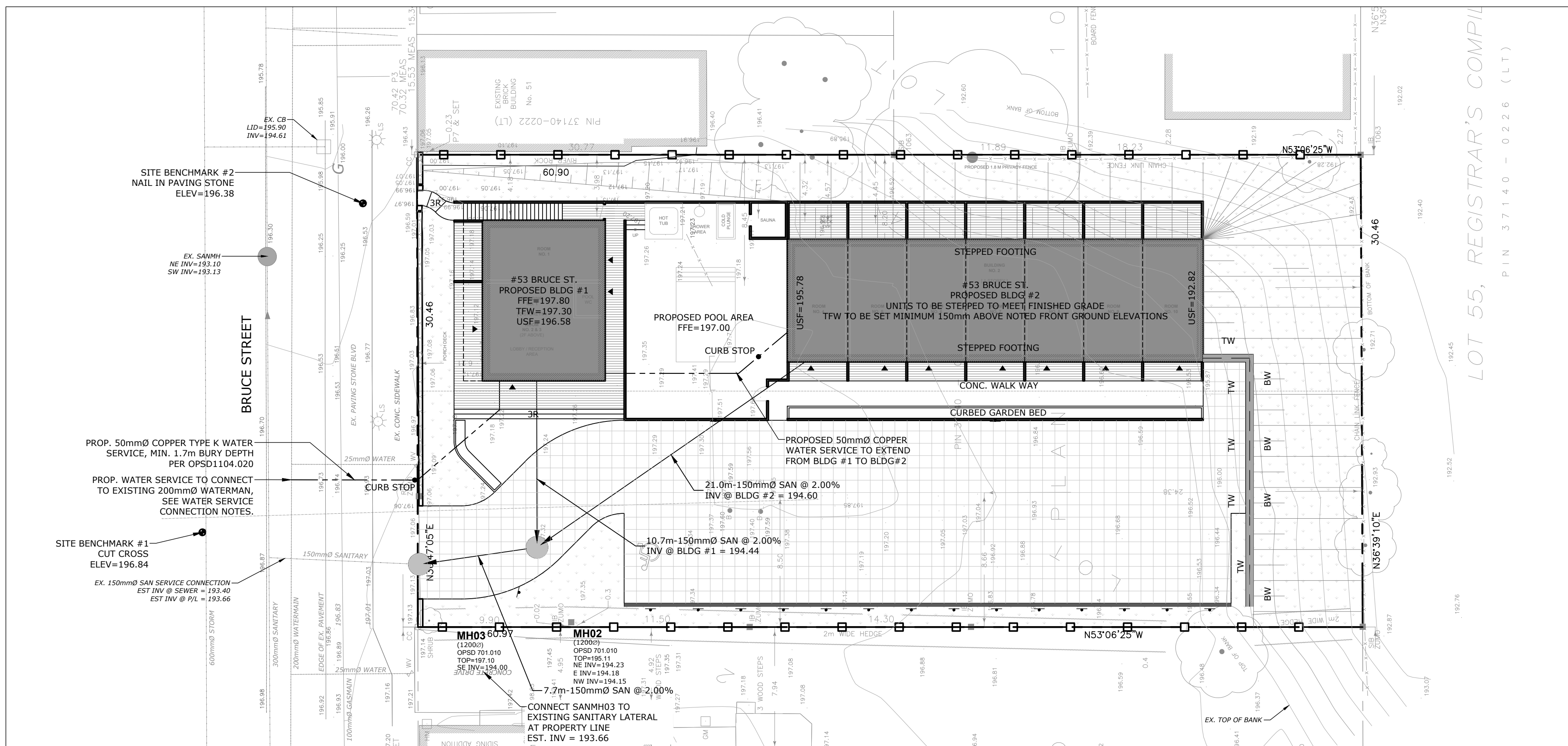
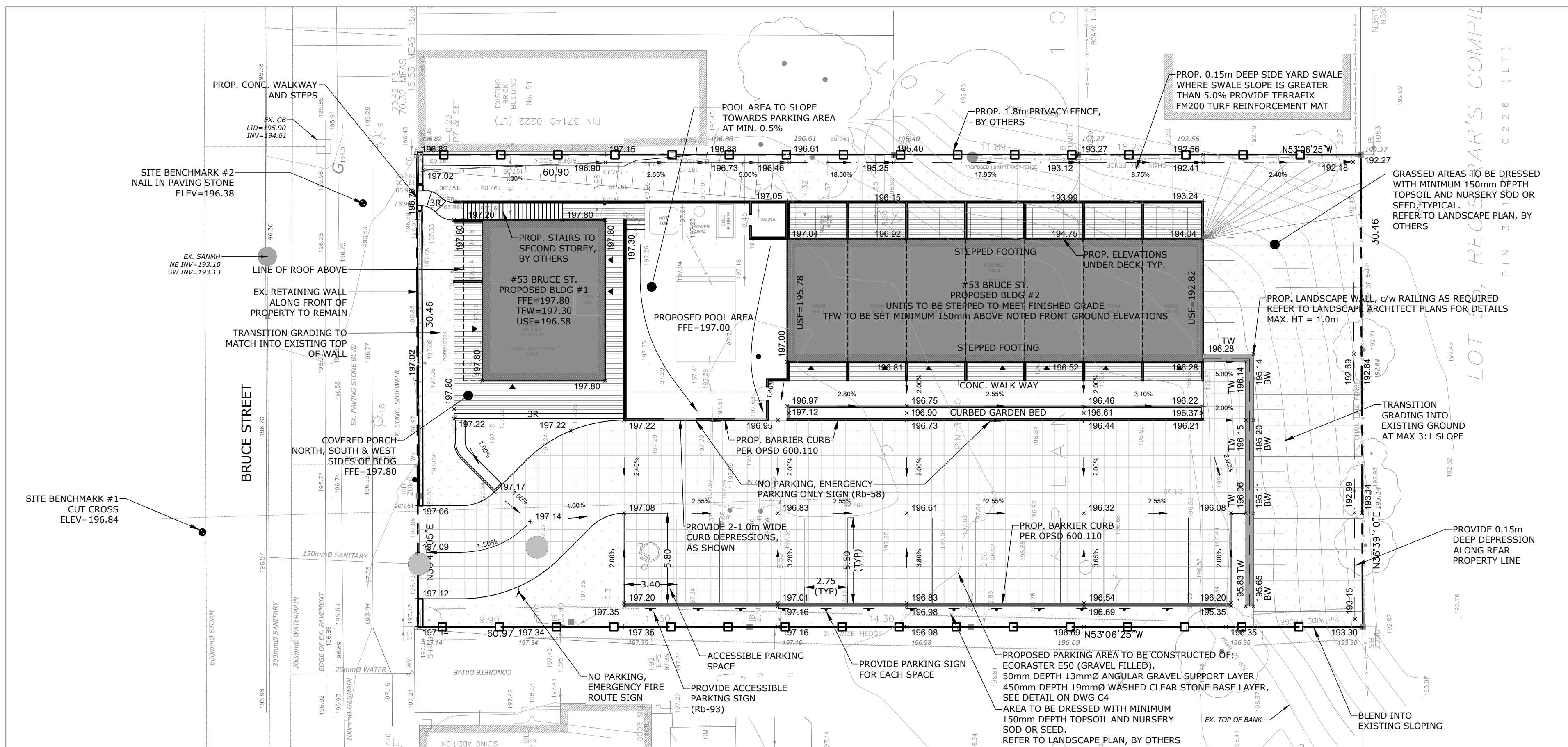


#53 BRUCE STREET SOUTH

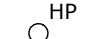
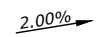
REMOVALS AND EROSION & SEDIMENT CONTROL

Designed B.H./K.G.	Checked K.G.	Date 24/10/18	Drawing No.
Project No. 2024-094	Rev No. 1	CONTRACT NO.	C1
Scale 1:200	0 4.0 8.0 12.0m		

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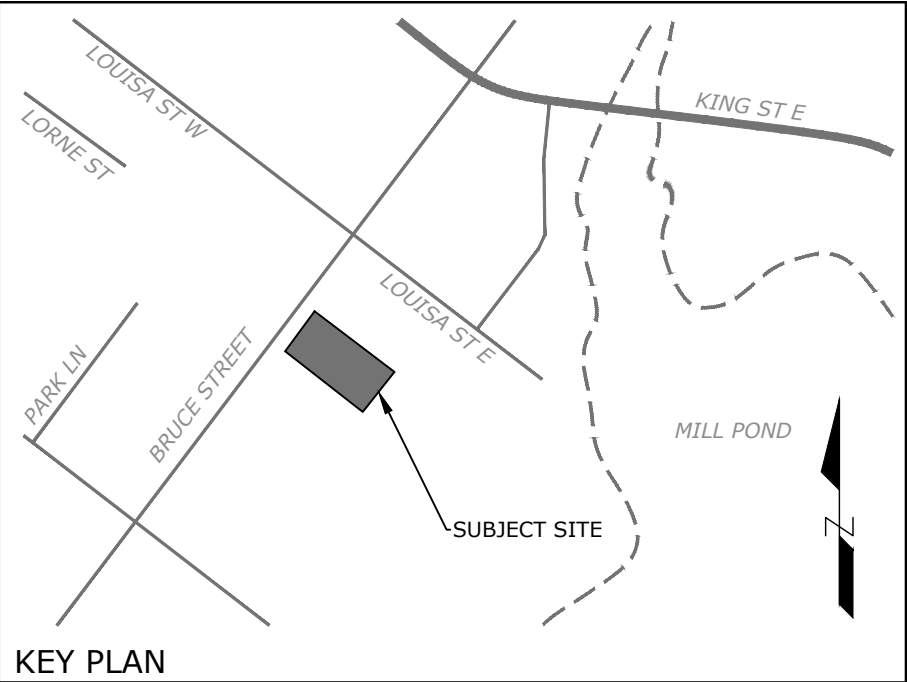
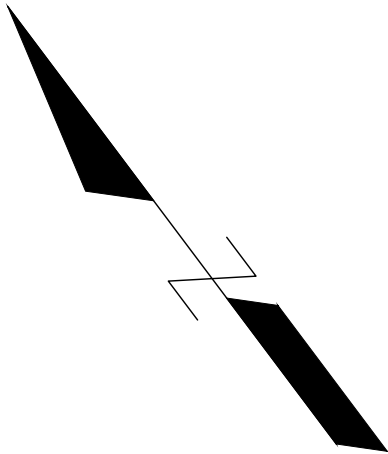
LEGEND

	ENTRANCE
	PROPERTY LINE
	BUILDING SETBACK (ENVELOPE)
	EXISTING SANITARY SERVICE
	EXISTING WATER SERVICE
	SANITARY SERVICE
	STORM SERVICE
	WATER SERVICE
	SWALE AND FLOW DIRECTION
	ROOF LEADER DISCHARGE TO SPLASH PAD LOCATION
	3:1 SLOPING (MAXIMUM)
$\times 184.90$	PROPOSED GRADE
$\times 184.90$	EXISTING GRADE
	EXISTING BELL BOX
	EXISTING CURB STOP
	EXISTING VALVE & BOX
HP 	HYDRO/UTILITY POLE
	PROPOSED OVERLAND FLOW GRADE
	EXISTING OVERLAND FLOW GRADE
	EXISTING TREES TO REMAIN
	EXISTING TREE TO BE REMOVED

NOTES

1. THE OWNER/BUILDER/APPLICANT MUST OBTAIN A ROAD OCCUPANCY PERMIT FROM PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND A COPY OF THE "ACCEPTED FOR CONSTRUCTION" LOT GRADING AND DRAINAGE PLAN SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING UTILITY AND SERVING LOCATIONS PRIOR TO ANY WORKS BEING UNDERTAKEN.
3. EROSION CONTROL AND SLOPE STABILIZATION MEASURES SHALL BE IMPLEMENTED TO PREVENT MIGRATION OF SILT AND SEDIMENT FROM THE SUBJECT LOT TO ANY ADJACENT LOT INCLUDING MUNICIPAL RIGHT-OF-WAY. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT SILT AND SEDIMENT LAID SURFACE WATER DOES NOT ENTER ANY DRAINAGE COURSE OR COURSE OF ANY POSITIVE AREA, EITHER OVERHEAD OR THROUGH THE STORM DRAINAGE SYSTEM.
4. ALL DOWNSPOUTS, SUMP PUMP AND OTHER DRAINAGE DISCHARGE POINTS SHALL BE INSTALLED WITHIN THE TOWNSHIP RIGHT-OF-WAY OR TO A POSITIVE AREA.
5. ALL DISTURBED AREAS ARE TO BE SOODED OVER A MINIMUM OF 100MP OF TOPSOIL OR APPROVED ALTERNATIVE GROUND COVER.
6. WITHIN THE TOWNSHIP RIGHT-OF-WAY MUST BE RESTORED TO EQUAL OR BETTER CONDITION.
7. RETAINING WALLS ARE TO BE CONSTRUCTED OF ACCEPTABLE ARCHITECTURAL BLOCK OR EQUIVALENT, FILLED WITH GRAVEL OR FINES. RETAIN WALLS BEHIND ALL RETAINING WALLS TO PREVENT THE EROSION OF FINES. RETAIN WALLS SHALL NOT ENCHROACH INTO THE MUNICIPAL ROAD ALLOWANCE.
8. THE OWNER/BUILDER/APPLICANT MUST OBTAIN A ROAD OCCUPANCY PERMIT FROM PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS.
9. INTERIM GRADING MEASURES MAY BE REQUIRED DURING BUILDING CONSTRUCTION TO ENSURE THAT DRAINAGE DOES NOT ADVERSELY AFFECT THE NEIGHBORING PROPERTIES. ROUGH GRADING SHALL BE COMPLETED WITHIN 10 DAYS OF THE DATE THAT DRAINAGE IS CONTAINED ON SITE OR CONTROLLED TO A POSITIVE OUTLET.
10. HEADWALLS SHALL BE CONSTRUCTED OF RISE-SLOPE (PISA 2) ARCHITECTURAL, CONCRETE OR COMPLEMENTARY MATERIALS TO MATCH THE ADJACENT WALLS.
11. ALL SWALES SHALL HAVE A MINIMUM DEPTH OF 0.30m (10" MINIMUM DIAMETER SUBURBANS SHALL BE PROVIDED UNDER ALL SWALES WITH GRADIENTS LESS THAN 1.0%, SUBURBANS SHALL BE PERFORATED, CORRUGATED PIPE WITH GEOTEXTILE LINED AND BEHIND IN A 300mm(12") CLEAR STONE TRENCH WRAPPED WITH FILTER CLOTH.
12. EXISTING VEGETATION ON SITE TO BE REMOVED AND DISPOSED OF OFF SITE BEFORE CONSTRUCTION WORKS COMMENCE.
13. FOOTING WIDTH SHALL BE PER O.B.C. SECTION 9.15.3.4 WITH WIDTH ADJUSTMENT IF FOOTINGS ARE LOCATED NEAR SEASONALLY HIGH GROUNDWATER AS PER O.B.C. SECTION 9.15.3.4.3.
14. AS PER SECTION 4.2.2.1 OF O. REG 332/12 BUILDING CODE A SUBSURFACE INVESTIGATION INCLUDING GRADING DRAINAGE CONDITIONS IS REQUIRED PRIOR TO PLACING THE FOUNDATION. THE UNDERSIDE OF FLOOR SLAB AND ASSOCIATED FOOTINGS WILL BE EXPOSED TO A MINIMUM SEPARATION OF 0.4m above the SEASONAL HIGH GROUNDWATER LEVEL, OR AS REQUIRED PER HYDROSTATIC PRESSURES, BASED ON THE SUBSURFACE INVESTIGATION.
15. NO CONSTRUCTION WORKS SHALL BE UNDERTAKEN OR PROVIDED BY THE OWNER PRIOR TO THE COMPLETION OF THIS LOT GRADING PLAN. ADJUSTMENTS TO THE GRADING INCLUDING THE FOUNDATION LEVEL WILL BE REQUIRED FOLLOWING THE RESULTS OF THE INVESTIGATION. THE INVESTIGATION SHALL BE COMPLETED PRIOR TO THE INVESTIGATION DEMONSTRATES A NEED TO ALTER THE BUILDING ELEVATIONS, THE OWNER/CONTRACTOR IS TO INFORM CAMES ENGINEERING LTD.
16. IT IS THE OWNER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL GROUNDWATER PROTECTION MEASURES ARE IN ACCORDANCE WITH THE TOWNSHIP OF CAMES ENGINEERING LTD.

Notes: 1. This drawing is the exclusive property of CAPES Engineering Ltd. The reproduction of any part without express written consent of this Corporation is strictly prohibited. 2. The contractor shall verify all dimensions, levels, and datums on site and report any discrepancies or omissions to CAPES Engineering Ltd. prior to construction. 3. This drawing is to be read and understood in conjunction with all other plans and documents applicable to the project. 4. CAPES Engineering Ltd. accepts no responsibility for interpretation of third party information, contractor to verify all third party information prior to construction. 5. This is not a plan of survey. Any and all representation of property boundaries are approximate only.	No Revision Date	NOTES: BOUNDARY SURVEY INFORMATION: EXTRAPOLATED FROM SURVEYOR'S REAL PROPERTY REPORT WITH TOPOGRAPHICAL DATA, ALL OF LOTS 3 & 4, REGISTERED PLAN 103, GEOGRAPHIC TOWNSHIP OF THORNHURST, TOWN OF BLUE MOUNTAINS, COUNTY OF GREY, PREPARED BY VAN HARTEN SURVEYING INC., 2021 TOPOGRAPHICAL INFORMATION: TOPOGRAPHICAL SURVEY COMPLETED BY VAN HARTEN SURVEYING INC., 2021. ELEVATIONS ARE BASE DON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS (IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVG208 DATUM (1978 ADJUSTMENT) WITH GRID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA. SITE BENCHMARKS: 1 - CUT CROSS ON NORTH SIDE OF BRUCE ST, NORTHWEST OF SOUTHWEST CORNER OF SUBJECT PROPERTY: ELEV = 196.84m 2 - NAIL IN PAVING STONE WEST OF NORTHWEST CORNER OF SUBJECT PROPERTY: ELEV = 196.38m	Client 2417762 Ontario Inc.	#53 BRUCE STREET SOUTH SITE GRADING AND SERVICING PLAN	Drawing No. C2	
	1 ISSUED FOR FIRST SUBMISSION 24/10/23	DESIGNED BY: B.H./J.C.C. CHECKED BY: C.C. DATE: 24/10/18	Project No. 2024-094 Rev No. 1	CONTRACT NO.		
		Scale 1"=200'	0 4.0 8.0 12.0m			
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- 
221.21 PROPOSED ELEVATION

221.21 EXISTING ELEVATION

MAXIMUM 3:1 SLOPE
UNLESS OTHERWISE NOTED

STORM SEWER/MANHOLE

WATERMAIN/WATER SERVICE

HYDRANT & VALVE

PROPOSED DRAINAGE AREA BOUNDARY

A1 DRAINAGE AREA ID

0.82ha DRAINAGE AREA, HECTARES

62% PERCENT IMPERVIOUS AREA

PROPOSED OVERLAND FLOW DIRECTION

#53 BRUCE STREET SOUTH		C3
POST DEVELOPMENT DRAINAGE PLAN		
Designed B.H./K.G.	Checked K.G.	
Project No. 2024-094	CONTRACT NO. 1	
Scale 1" = 20'0" 		Drawing No.

