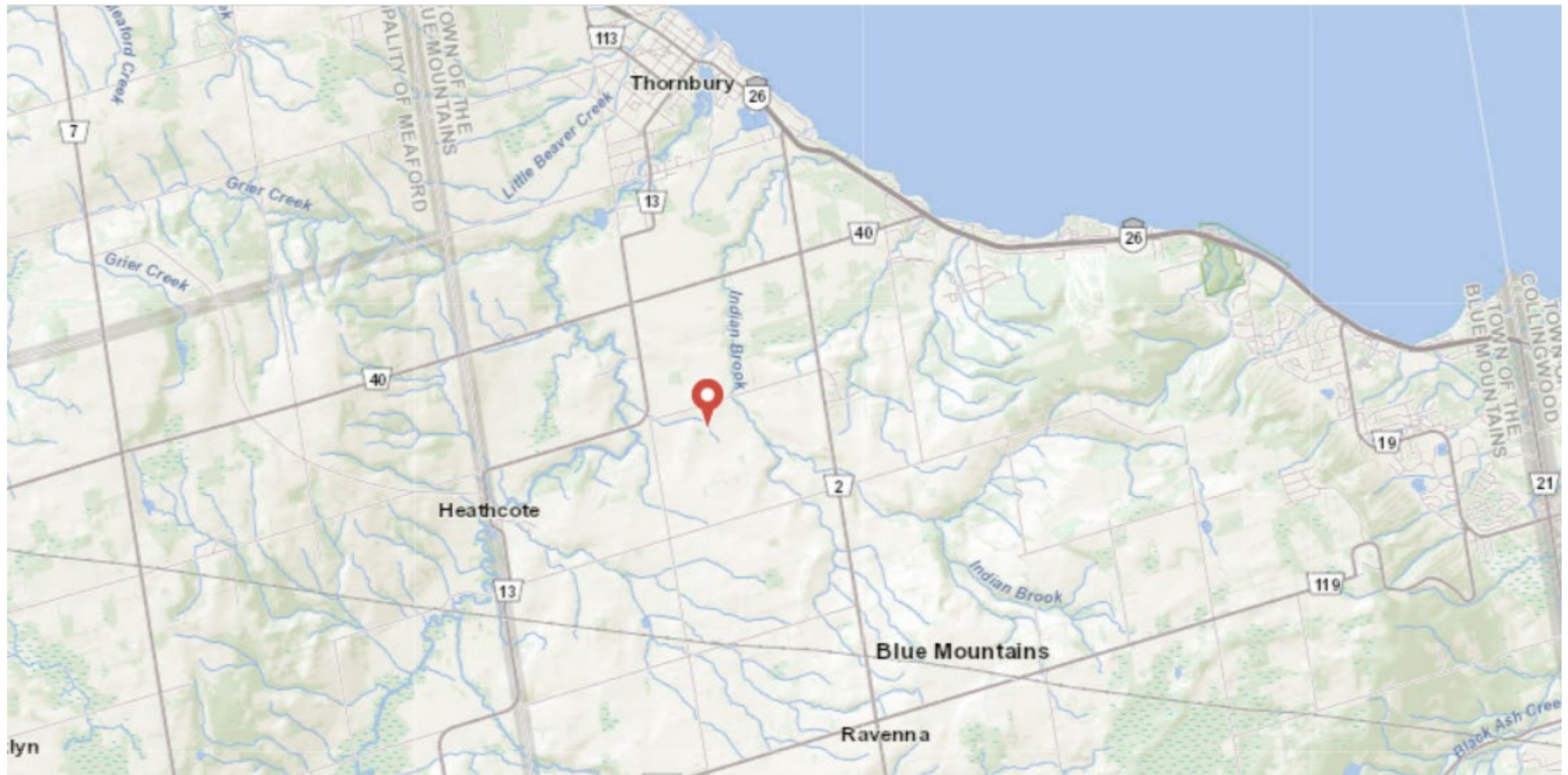
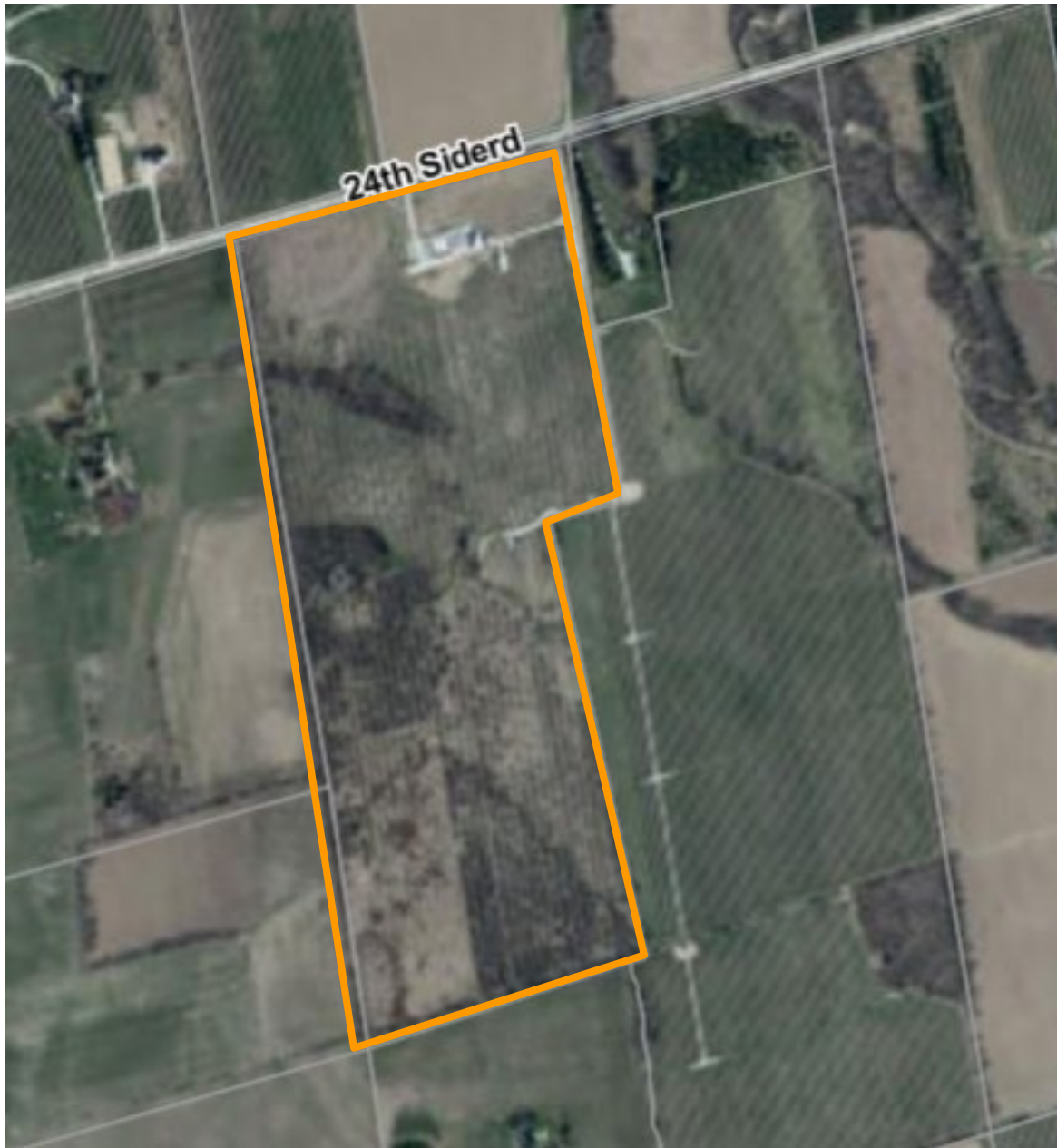




File No.: P3471
808108 24th Sideroad
Town of the Blue Mountains
Zoning By-law Amendment







Subject Property

- Lot Frontage, 389.7m on the 24th Sideroad
- Lot Area, 31.29ha (77.34ac)
- Contains approximately 29 hectares (71.6 acres) of apple orchards (agricultural use)

Existing Property Features

- Cider House and Distillery: tasting room & retail store, and production/processing with a patio adjacent
- Outdoor area; Airstream trailer, a grain silo and shipping container and outdoor seating
- Gravel parking area
- Serviced by private septic system and water
- Shipping containers; storage of varying aspects of business located on property





Spy Cider House & Distillery



Patio



Patio (wedding rehearsal evening)



Patio (wedding rehearsal evening)



Lawn Seating, Grain Silo Bar



Special Event



Airstream and Patio Seating



Enjoying the patio



Tasting Bar



Lounge, upper floor



Still



Apple Pressing



Apple Picking





Dinner Event



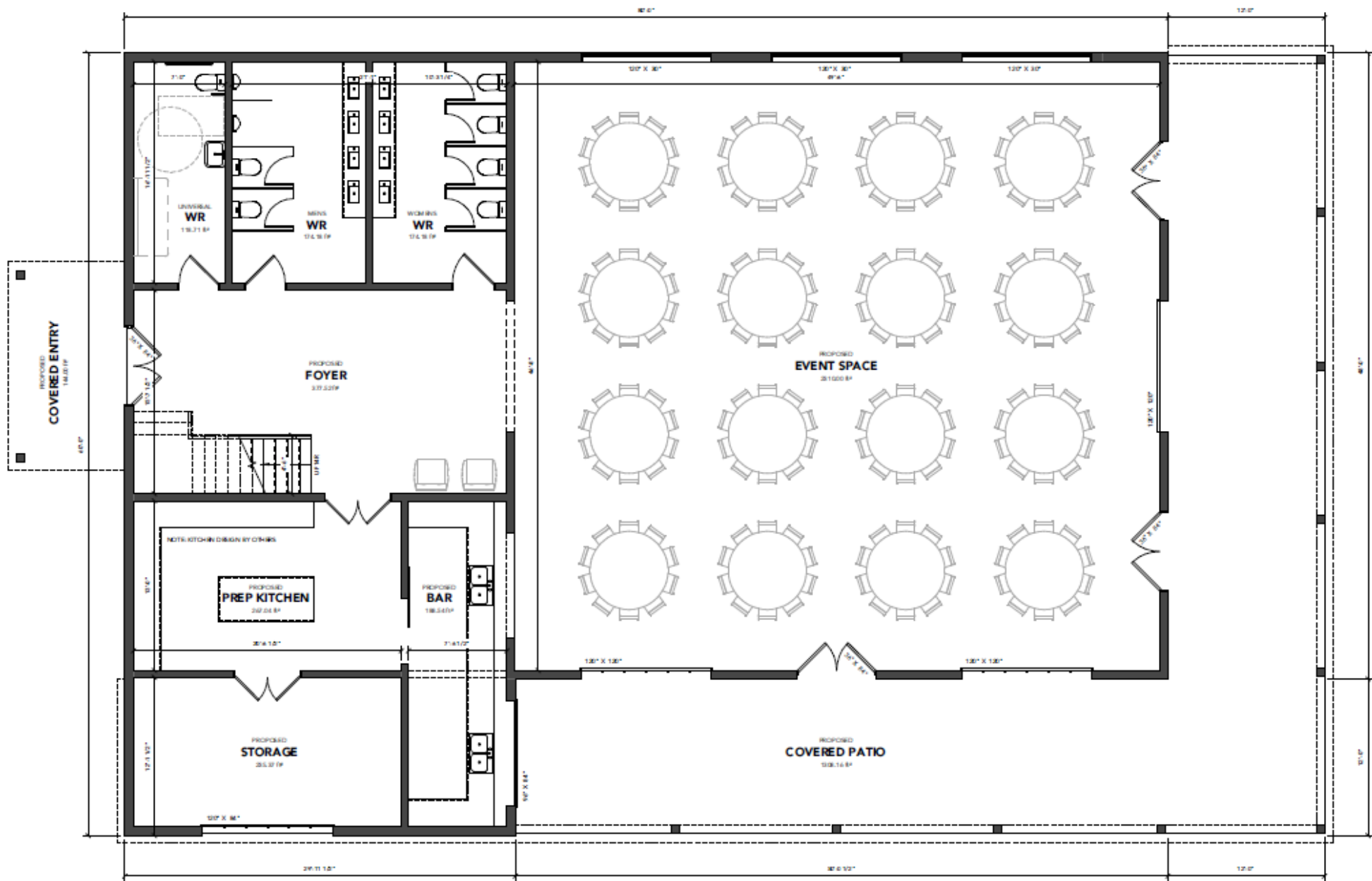


Dinner Event

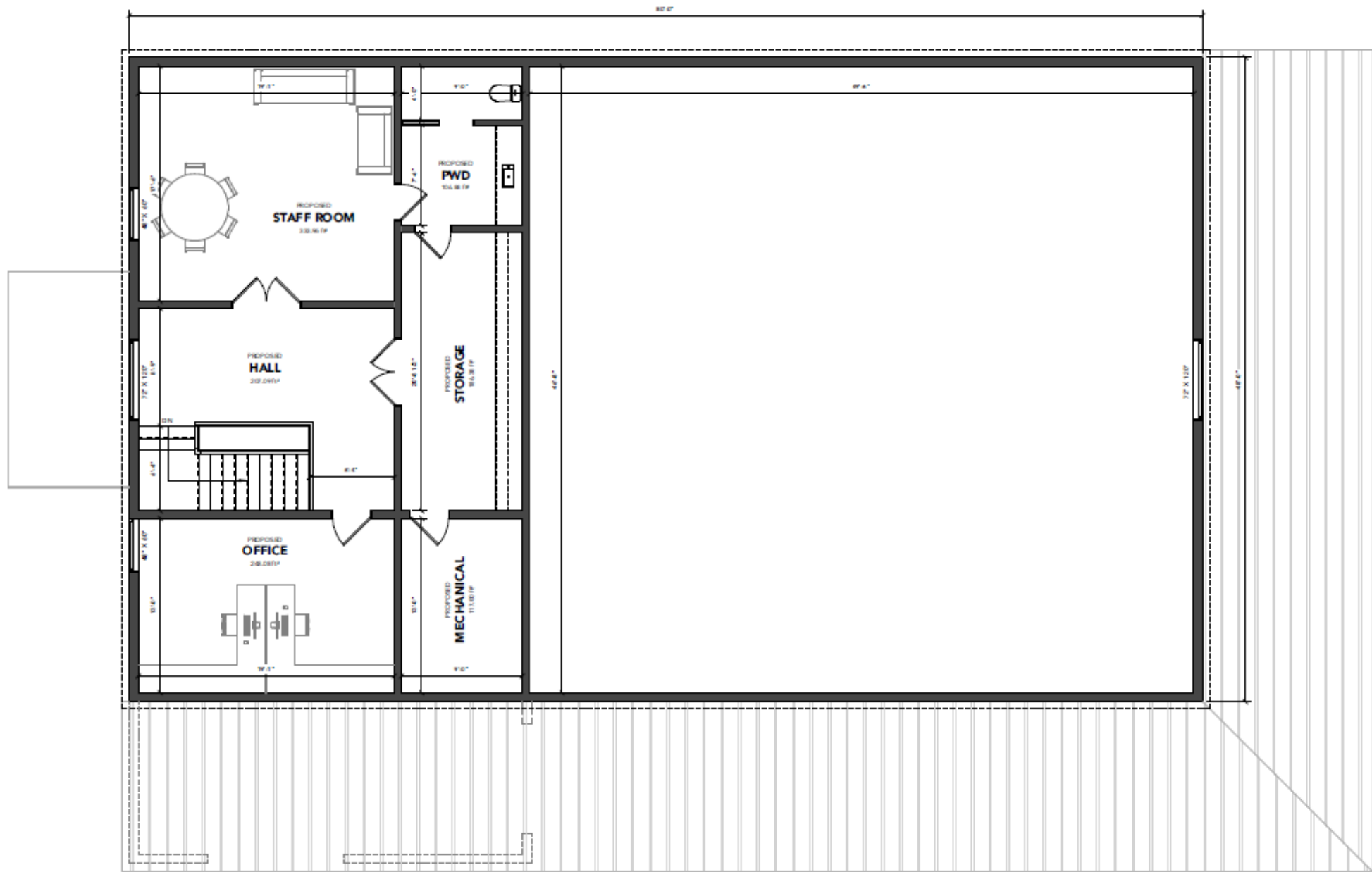
Proposed Building, Parking Area & Septic Location

- Two-storey building; includes a covered entry & patio, event space with seating for up to 165 guests, washrooms, kitchen, storage area with bar on main floor.
- Second floor includes staff offices, storage room, mechanical room
- New septic system proposed
- Parking lot to increase in size to accommodate required parking for proposed building

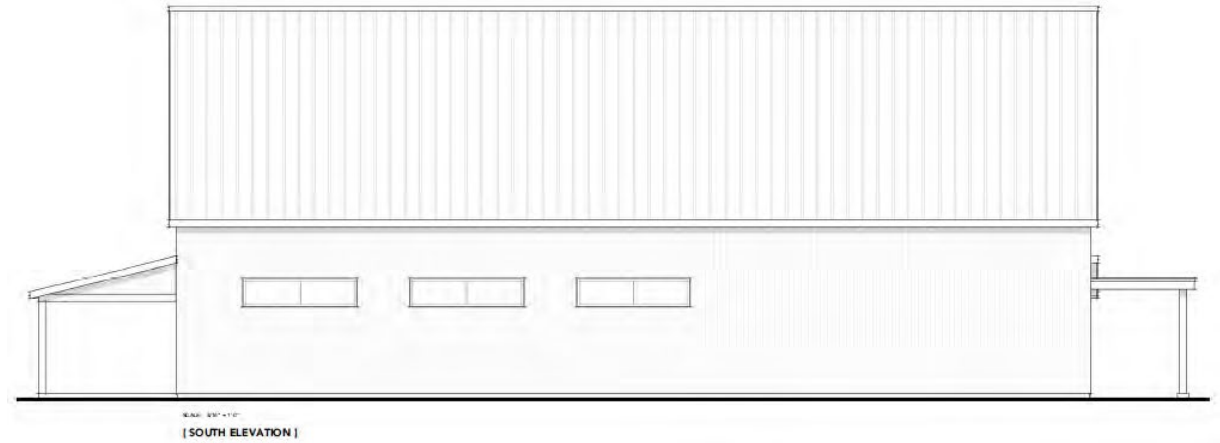




Proposed Ground Floor Plan



Proposed Second Floor Plan



East and North



South and West

Proposed Uses

- Building will be utilized for wide range of uses which will support existing operations, provide further opportunities related to agri-tourism and provide new opportunities for on-farm diversified uses:
 - ***Agricultural Related Uses:***
 - Apple storage and distribution during harvest season
 - Storage of farming equipment
 - Agricultural research centre (working with Ontario Agricultural College to study cider varieties)
 - ***On-Farm Diversified Use:***
 - Corporate events & celebrations (on going)
 - ***Agri-Tourism:***
 - Cider Festival (on going)
 - Ontario Craft Cider Association AGM
 - Town wide events (Open Fields etc.)
 - Culinary Tourism Alliance

Proposed ZBA

- ***'Special Agricultural with special provisions (SA-(SPX))'*** Zone:

- Proposed development of the 515m², two-storey building
- Recognize and permit the proposed seasonal outdoor kitchen
- Permit a residential dwelling to provide on-farm accommodation as an agricultural related/agri-tourism use
- Allow sale of liquor and alcohol that is produced off-site



Special Agricultural-SPX (SA-SPX) Zone

1. Notwithstanding the permitted uses of the SA Zone, the following uses shall also be permitted:
 - a) On Farm Diversified Uses, including but not limited to corporate events & celebrations;
 - b) Agri-Tourism Uses, including but not limited to festivals and events;
 - c) Shipping Containers, as shown on the Site Plan
 - d) Seasonal Outdoor Kitchen;
 - e) Residential Dwelling to provide on-farm accommodations; and
 - f) The sale of liquor and alcohol that is produced off-site
2. Notwithstanding the provisions of Section 4.25.1 of the Zoning By-law, the following provisions shall apply:
 - a) A multi-purpose building & associated services (parking lot, septic, etc.) shall be permitted with a combined area of 2,225 square metres

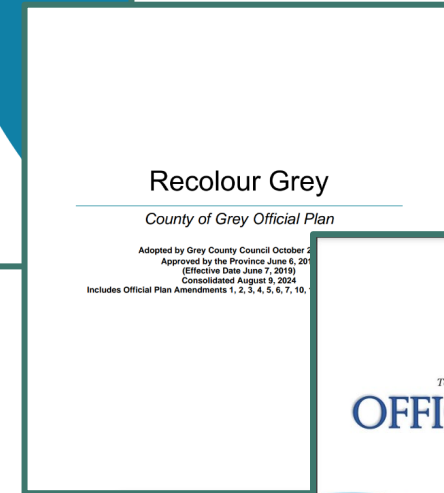
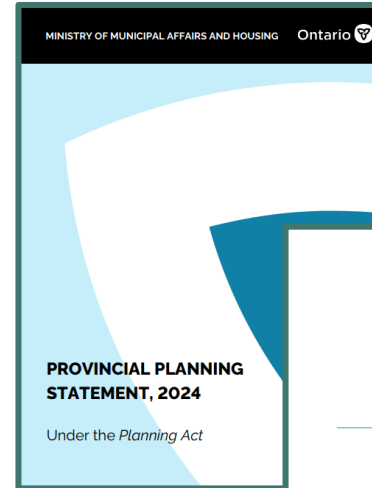
Special Agricultural-SPX (SA-SPX) Zone (continued)

3. Notwithstanding the provisions of Section 4.25.2 of the Zoning By-law, the following provisions shall apply:
 - a) The sale of alcohol produced off site shall be permitted
 - b) The retail floor space for non-agricultural and/or non-Grey County agricultural products shall be permitted
4. Notwithstanding the provisions of Section 5.0 of the Zoning By-law, the following provisions shall apply:
 - a) The minimum number of parking spaces shall be 50 (Section 5.4.3, Table 5.3)
 - b) The minimum number of Barrier Free parking spaces shall be 2, 1 Type A and 1 Type B (Section 5.6.1 and 5.6.2)
 - c) The parking space and the access from the parking space to the main entrance of the building can be gravel (Section 5.6.2)

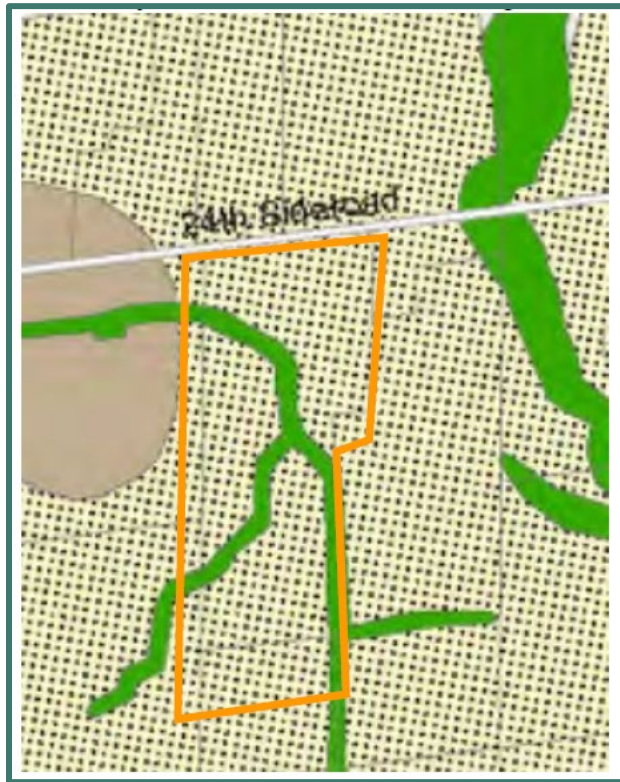
Planning Analysis

Full Planning Justification Report submitted with application addressing:

- Provincial Planning Statement (2024)
- Grey County Official Plan;
- Town of the Blue Mountains Official Plan; and,
- Town of the Blue Mountains Zoning By-law



Town of the Blue Mountains
Official Plan
Special Agricultural & Hazard



Township of the Blue Mountains
Zoning By-law
Special Agricultural (SA) & Hazard (H)



Current Official Plan Policy

- *Special Agricultural designation is to maintain and protect lands capable of producing apples and tender fruits; recognize the role of speciality croplands in the region and enhance their capacity to contribute to the economy of the Town; and maintain the character of the Town created by the presence of orchard lands (B4.3.1).*
- *The principal use of land in the Special Agricultural designation is apple and/or tender fruit production and storage facilities. Additional permitted uses include: all types of agricultural uses and related buildings and structures; market gardening and nurseries; retail sales of farm produce accessory to an agricultural use; small scale industrial or commercial uses subject to Section B4.1.8 of this Plan; an estate or farm winery subject to Section B4.1.3 and B4.1.4; and agri-tourism uses subject to Section B4.1.2 of this Plan.*

Current Official Plan Policy

- The current Official Plan provides policy direction for Agri-tourism uses, as on-farm diversified uses (B4.1.2).
- The agri-tourism uses proposed, propose a wide array of cider related events and festival which will draw many people to the region.
- The Official Plan provides criteria that must be evaluated a met for any proposed agri-tourism use which ensures the uses are compatible with the neighbouring properties, parking facilities are adequate, the use can be supported by rural services (wastewater and water) etc.
- The current Official Plan also provide policy direction for Farm Wineries (B4.1.4), which is what the current land use is described as. The policies are restrictive and limiting in nature.

Draft Official Plan Policy

- The draft Official Plan designates the lands as ‘Special Agricultural’ and ‘Hazard’.
- The draft Official Plan policies have been reviewed against the current Official Plan, noting significant changes have been made which further support the proposed applications.
- Section B4.3.3 Permitted Uses has been simplified, with some uses being removed. Policy B4.3.3.a) notes *all types of uses permitted in by Section B4.2.3 of the Agricultural designation*. This broadens the permitted uses within the Special Agricultural designation.
- Policies supporting On-Farm Diversified Uses (B4.1.7) have been added. These policies are in line with the County’s and Province’s Policies and Guidelines. The development criteria, while specific, provides more opportunities for varying uses on agricultural lands.

Supporting Studies & Drawings

- Lot Grading Plan (prepared by Crozier)
- Traffic Opinion Letter (prepared by Crozier)
 - Existing site entrance and surrounding public road intersections operate well and have capacity to accommodate growth
 - The proposed development can be supported
- Noise Impact Study (prepared by J.E. Coulter Associates Limited)
 - The proposed building, parking area and outdoor areas sound levels were reviewed (day, evening and night operations)
 - Recommendations / mitigation noise control measures provided:
 - Building to operate with all doors/windows closed (when music is playing)
 - Sound limiter to be set for speakers

Concluding Remarks



- The application is consistent with the policies of the Provincial Planning Statement (2024) and conforms with the intents and policies of the Grey County Official Plan and the Town of the Blue Mountains Official Plan (current and draft).
- Proposed rezoning will permit construction of a two-storey building allowing for additional uses within and/or associated with the building.

