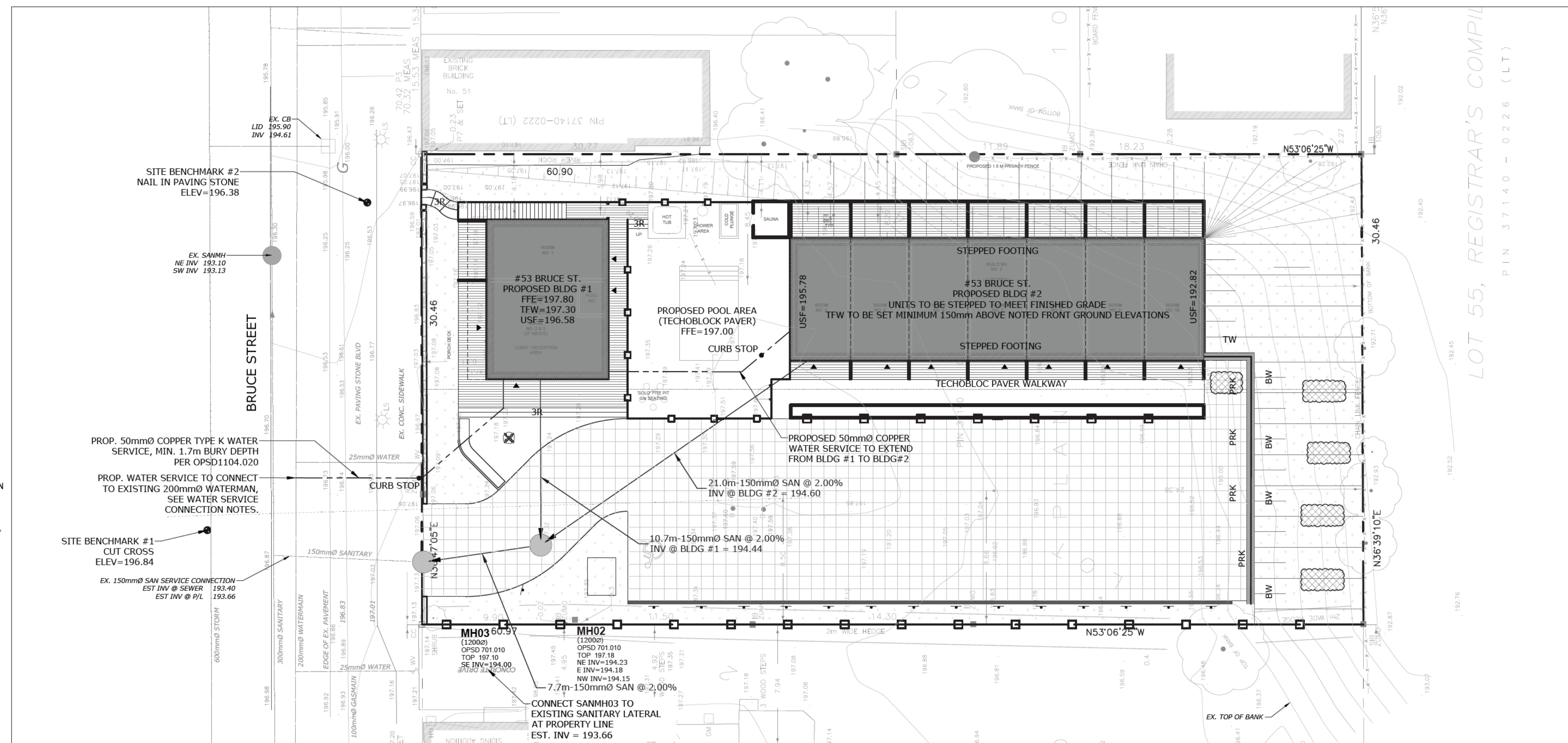
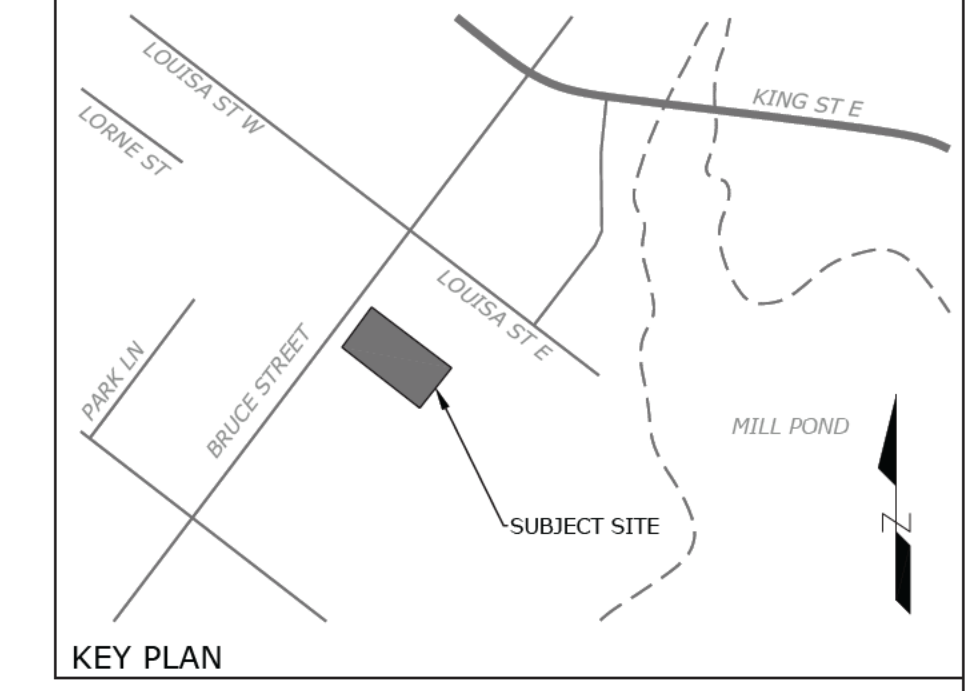


SITE GRADING PLAN



SITE SERVICING PLAN



LEGEND

	ENTRANCE
	PROPERTY LINE
	BUILDING SETBACK (ENVELOPE)
	EXISTING SANITARY SERVICE
	EXISTING WATER SERVICE
	SANITARY SERVICE
	STORM SERVICE
	WATER SERVICE
	SWALE AND FLOW DIRECTION
	ROOF LEADER DISCHARGE TO SPLASH PAD LOCATION
	3:1 SLOPING (MAXIMUM)
	PROPOSED GRADE
	EXISTING GRADE
	EXISTING BELL BOX
	EXISTING CURB STOP
	EXISTING VALVE & BOX
	HYDRO/UTILITY POLE
	PROPOSED OVERLAND FLOW GRADE
	EXISTING OVERLAND FLOW GRADE
	EXISTING TREES TO REMAIN
	EXISTING TREE TO BE REMOVED

- NOTES**
- THE OWNER/BUILDER/APPLICANT MUST OBTAIN A ROAD OCCUPANCY PERMIT FROM PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS.
 - A COPY OF THE "ACCEPTED FOR CONSTRUCTION" LOT GRADING AND DRAINAGE PLAN IS ALWAYS TO BE ON SITE FOR REFERENCE DURING CONSTRUCTION.
 - THE OWNER IS RESPONSIBLE FOR OBTAINING UTILITY AND SERVICING LOCATES PRIOR TO ANY WORKS BEING UNDERTAKEN.
 - SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT MIGRATION OF SILT AND SEDIMENT FROM THE SUBJECT LOT TO ANY ADJACENT LOT, INCLUDING MUNICIPAL RIGHT-OF-WAY. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT SILT AND SEDIMENT LADEN SURFACE WATER DOES NOT ENTER ANY WATERCOURSES OR ENVIRONMENTALLY SENSITIVE AREAS, EITHER OVERLAND OR THROUGH THE STORM DRAINAGE SYSTEM.
 - ALL DOWNSPOUTS, SUMP PUMP AND OTHER DRAINAGE DISCHARGE POINTS SHALL DISCHARGE ONTO A SPLASH PAD OR APPROVED EQUIVALENT.
 - ALL DISTURBED AREAS ARE TO BE SOODED OVER A MINIMUM OF 100MM OF TOPSOIL OR APPROVED ALTERNATIVE GROUND COVER.
 - ALL WORK WITHIN THE TOWNSHIP RIGHT-OF-WAY MUST BE RESTORED TO EQUAL OR BETTER CONDITION.
 - RETAINING WALLS ARE TO BE CONSTRUCTED OF ACCEPTABLE ARCHITECTURAL BLOCK OR APPROVED EQUIVALENT. FILTER CLOTH SHALL BE PLACED BEHIND ALL RETAINING WALLS TO PREVENT THE MIGRATION OF FINES. RETAINING WALLS ARE NOT TO ENCRoACH INTO THE MUNICIPAL ROAD ALLOWANCE.
 - THE OWNER/BUILDER/APPLICANT MUST OBTAIN A ROAD OCCUPANCY PERMIT FROM PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS.
 - INTERIM GRADING MEASURES MAY BE REQUIRED DURING BUILDING CONSTRUCTION TO ENSURE THAT DRAINAGE DOES NOT ADVERSELY AFFECT THE NEIGHBORING PROPERTIES. ROUGH GRADING OF THE PROPERTY SHALL BE COMPLETED SUCH THAT DRAINAGE IS CONTAINED ON SITE OR CONTROLLED TO A POSITIVE OUTLET.
 - HEADWALLS SHALL BE CONSTRUCTED OF RISE-STONE (PISSA 2) ARCHITECTURAL BLOCK, COMPLETE WITH FILTER CLOTH TO PREVENT THE MIGRATION OF FINES.
 - ALL SWALES SHALL HAVE A MINIMUM DEPTH OF 150mm; 150mm DIAMETER SUBDRAINS SHALL BE PROVIDED UNDER ALL SWALES WITH GRADIENTS LESS THAN 1.0%. SUBDRAINS SHALL BE INSTALLED IN CORRUGATED PIPE WITH GEOTEXTILE AND BE BEDDED IN A 300mmx300mm CLEAR STONE TRENCH WRAPPED WITH FILTER CLOTH.
 - EXISTING VEGETATION ON SITE TO BE REMOVED AND DISPOSED OF OFF SITE BEFORE LOT GRADING WORK AS SPECIFIED.
 - FOOTING WIDTH SHALL BE PER O.B.C. SECTION 9.15.3.4 WITH WIDTH ADJUSTMENTS IF FOOTINGS ARE LOCATED NEAR SEASONALLY HIGH GROUNDWATER AS PER O.B.C. SECTION 9.15.4.3.
 - AS PER SECTION 4.2.2.1 OF O. REG 332/12 BUILDING CODE A SUBSURFACE INVESTIGATION INCLUDING GROUNDWATER CONDITIONS IS REQUIRED PRIOR TO PLACING THE FOUNDATION. THE UNDERSIDE OF FLOOR SLAB AND ASSOCIATED DRAINS SHALL BE ENTIRELY LOCATED A MINIMUM SEPARATION OF 0.4m ABOVE THE SEASONAL HIGH GROUNDWATER LEVEL, OR AS REQUIRED PER HYDROSTATIC PRESSURES, BASED ON THE SUBSURFACE INVESTIGATION.
 - NO SUBSURFACE INVESTIGATION INFORMATION WAS PROVIDED BY THE OWNER PRIOR TO THE COMPLETION OF THIS LOT GRADING PLAN, ADJUSTMENTS TO THE GRADING INCLUDING THE FOUNDATION LEVEL MAY BE REQUIRED FOLLOWING THE COMPLETION OF THE SUBSURFACE INVESTIGATION. IF THE SUBSURFACE INVESTIGATION DEMONSTRATES A NEED TO ALTER THE BUILDING ELEVATIONS, THE OWNER/CONTRACTOR IS TO INFORM CAPE'S ENGINEERING LTD.
 - IT IS THE OWNER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL GROUNDWATER SEPARATIONS ARE ADHERED TO PRIOR TO CONSTRUCTION.

- WATER SERVICE CONNECTION NOTES**
- PROPOSED WATER SERVICE TO CONNECT TO EXISTING 200mm WATERMAIN WITH SERVICE SADDLE AND 50mm CORPORATION (MAIN) STOP, OR APPROVED EQUIVALENT.
 - SERVICE SADDLE TO BE CAMBRIDGE BRASS 403 TECK SADDLE SERIES 8403, CORPORATION (MAIN) STOP TO BE CAMBRIDGE BRASS 301NL-A7H7 (50mm), OR APPROVED EQUIVALENT.
 - PROPOSED CURBSTOPS TO BE CAMBRIDGE BRASS 202NL-H7H7 (50mm), OR APPROVED EQUIVALENT.
 - PROPOSED WATER SERVICE TO BE 50mm SEAMLESS COPPER TYPE 'K'.

Notes

- This drawing is the exclusive property of CAPE'S Engineering Ltd. The reproduction of any part without express written consent of this Corporation is strictly prohibited.
- The contractor shall verify all dimensions, levels, and datums on site and report any discrepancies or omissions to CAPE'S Engineering Ltd. prior to construction.
- This drawing is to be read and understood in conjunction with all other plans and documents applicable to this project.
- CAPE'S Engineering Ltd. accepts no responsibility for interpretation of third party information, contractor to verify all third party information prior to construction.
- This is not a plan of survey. Any and all representation of property boundaries are approximate only.

No	Revision	Date
1	ISSUED FOR FIRST SUBMISSION	24/11/06
2	ISSUED FOR SECOND SUBMISSION	25/02/11

NOTES

BOUNDARY SURVEY INFORMATION
EXTRAPOLATED FROM SURVEYOR'S REAL PROPERTY REPORT WITH TOPOGRAPHICAL DATA, ALL OF LOTS 3 & 4,
PLAN 103, GEOGRAPHIC TOWNSHIP OF THORNHURST, TOWN OF BLUE MOUNTAINS, COUNTY OF GREY, PREPARED BY VAN HARTEN
SURVEYING INC., 2021.

TOPOGRAPHICAL INFORMATION
TOPOGRAPHICAL SURVEY COMPLETED BY VAN HARTEN SURVEYING INC., 2021.

ELEVATIONS ARE BASE DON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010)
COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORIGNAL ELEVATIONS ON THE CVD200 DATUM (1978 ADJUSTMENT)
WITH GEOID MODEL HTv2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

SITE BENCHMARKS
1 - CUT CROSS ON NORTH SIDE OF BRUCE ST, NORTHWEST OF SOUTHWEST CORNER OF SUBJECT PROPERTY ELEV 196.84m
2 - NAIL IN PAVING STONE WEST OF NORTHWEST CORNER OF SUBJECT PROPERTY ELEV 196.38m

Town of Blue Mountains
Planning and Development Services
Accepted For Construction

APC Drawings are only valid as part and upon execution of a
Development Agreement

Development Agreement
Braum Worley Mark 25 25
signature date

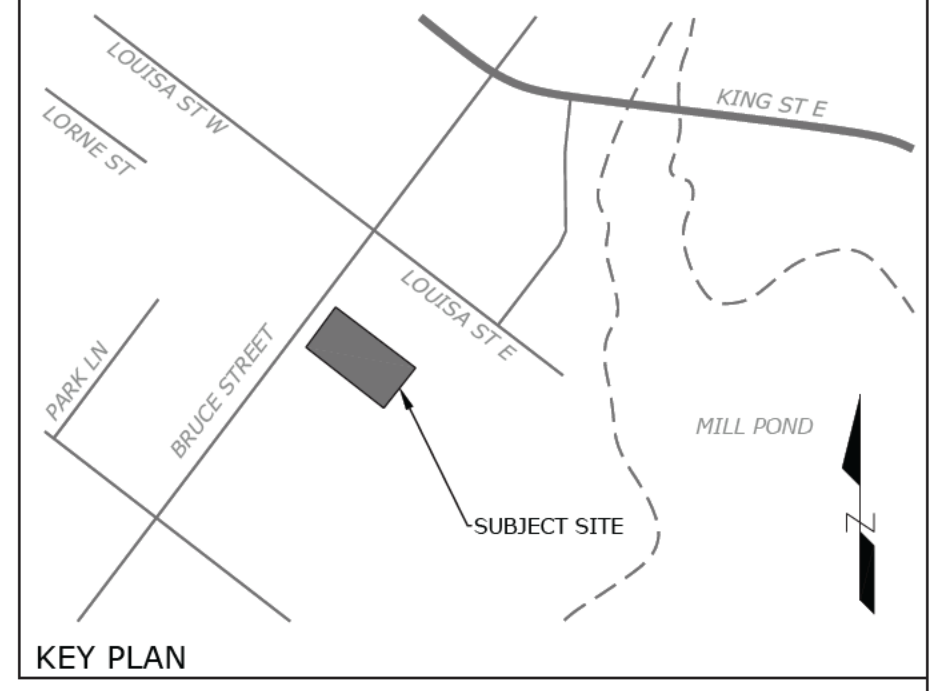
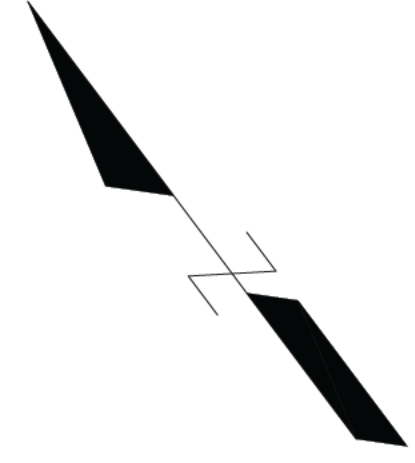
LICENSED PROFESSIONAL ENGINEER
C/CAPE'S
100055104
FEB. 17, 2025
PROVINCE OF ONTARIO

Client
2417762 Ontario Inc.

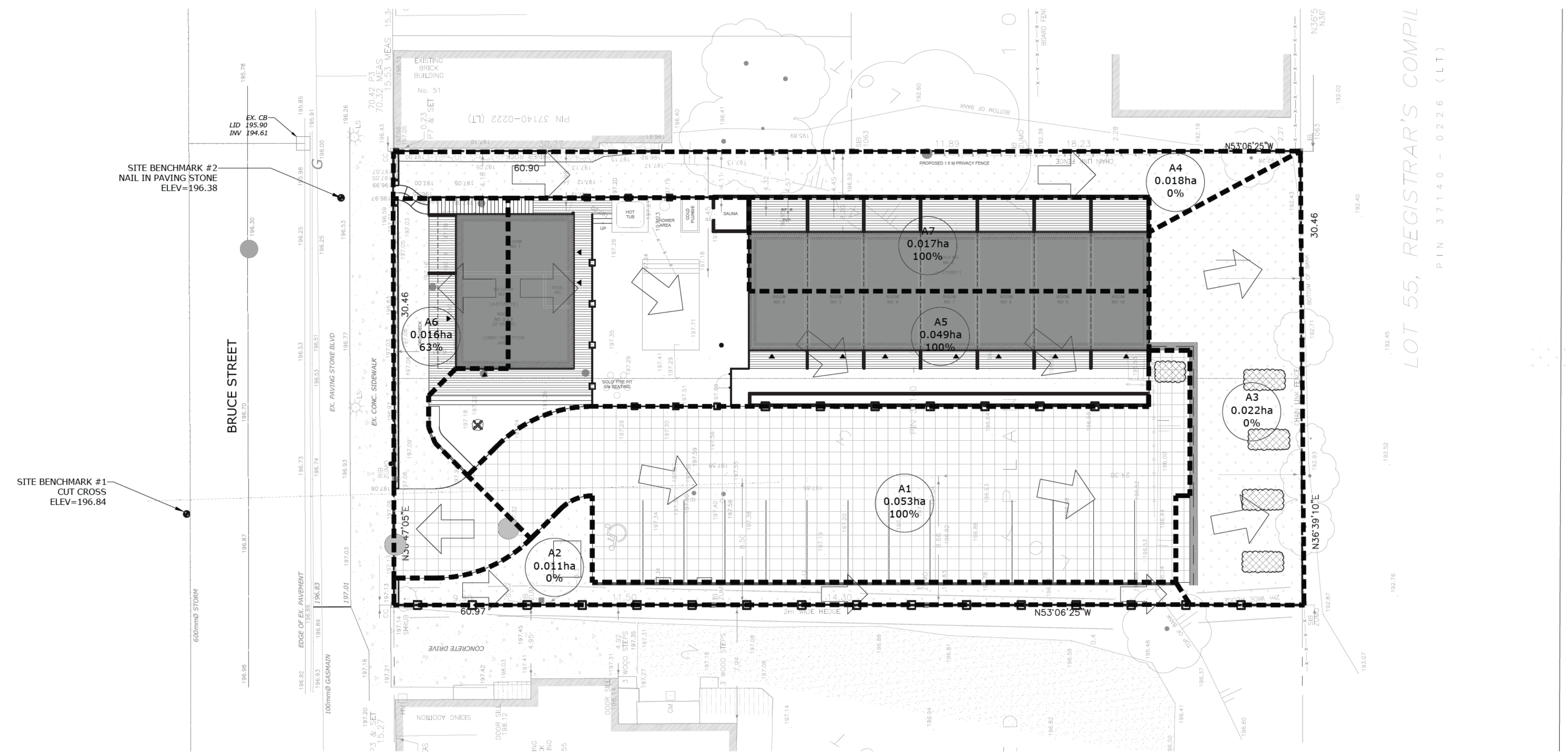
CAPE'S
ENGINEERING

#53 BRUCE STREET SOUTH
SITE GRADING AND SERVICING PLAN

Designed B.H./C.C.	Checked C.C.	Date 24/10/18	Drawing No.
Project No. 2024-094	CONTRACT NO.	Rev No. 1	C2
Scale 1:200	0 4.0 8.0 12.0m	WWW.CAPESENGINEERING.COM	



- LEGEND**
- 221.21 PROPOSED ELEVATION
 - ◊ 221.21 EXISTING ELEVATION
 - MAXIMUM 3:1 SLOPE UNLESS OTHERWISE NOTED
 - STORM SEWER/MANHOLE
 - — — WATERMAIN/WATER SERVICE
 - ◇ HYDRANT & VALVE
 - PROPOSED DRAINAGE AREA BOUNDARY
 - A1 0.82ha 62% DRAINAGE AREA ID, DRAINAGE AREA, HECTARES, PERCENT IMPERVIOUS AREA
 - ➔ PROPOSED OVERLAND FLOW DIRECTION



LOT 55, REGISTRAR'S COMPIL PIN 37140 - 0226 (LT)

- Notes**
- This drawing is the exclusive property of CAPES Engineering Ltd. The reproduction of any part without express written consent of this Corporation is strictly prohibited.
 - The contractor shall verify all dimensions, levels, and datums on site and report any discrepancies or omissions to CAPES Engineering Ltd. prior to construction.
 - This drawing is to be read and understood in conjunction with all other plans and documents applicable to this project.
 - CAPES Engineering Ltd. accepts no responsibility for interpretation of third party information, contractor to verify all third party information prior to construction.
 - This is not a plan of survey. Any and all representation of property boundaries are approximate only.

No	Revision	Date
1	ISSUED FOR FIRST SUBMISSION	24/10/23

NOTES

BOUNDARY SURVEY INFORMATION
EXTRAPOLATED FROM SURVEYOR'S REAL PROPERTY REPORT WITH TOPOGRAPHICAL DATA, ALL OF LOTS 3 & 4, REGISTERED PLAN 103, GEOGRAPHIC TOWNSHIP OF THORNBURY, TOWN OF BLUE MOUNTAINS, COUNTY OF GREY, PREPARED BY VAN HARTEN SURVEYING INC., 2021.

TOPOGRAPHICAL INFORMATION
TOPOGRAPHICAL SURVEY COMPLETED BY VAN HARTEN SURVEYING INC., 2021.

ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CYG2008 DATUM (CS19 ADJUSTMENT) WITH GEOID MODEL HTv2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

SITE BENCHMARKS
1 - CUT CROSS ON NORTH SIDE OF BRUCE ST, NORTHWEST OF SOUTHWEST CORNER OF SUBJECT PROPERTY ELEV 196.84m
2 - NAIL IN PAVING STONE WEST OF NORTHWEST CORNER OF SUBJECT PROPERTY ELEV 196.38m

Town of Blue Mountains
Planning and Development Services
Accepted For Construction

AFC Drawings are only valid as part and upon execution of a Development Agreement

Bruce Worley March 25 25
signature date



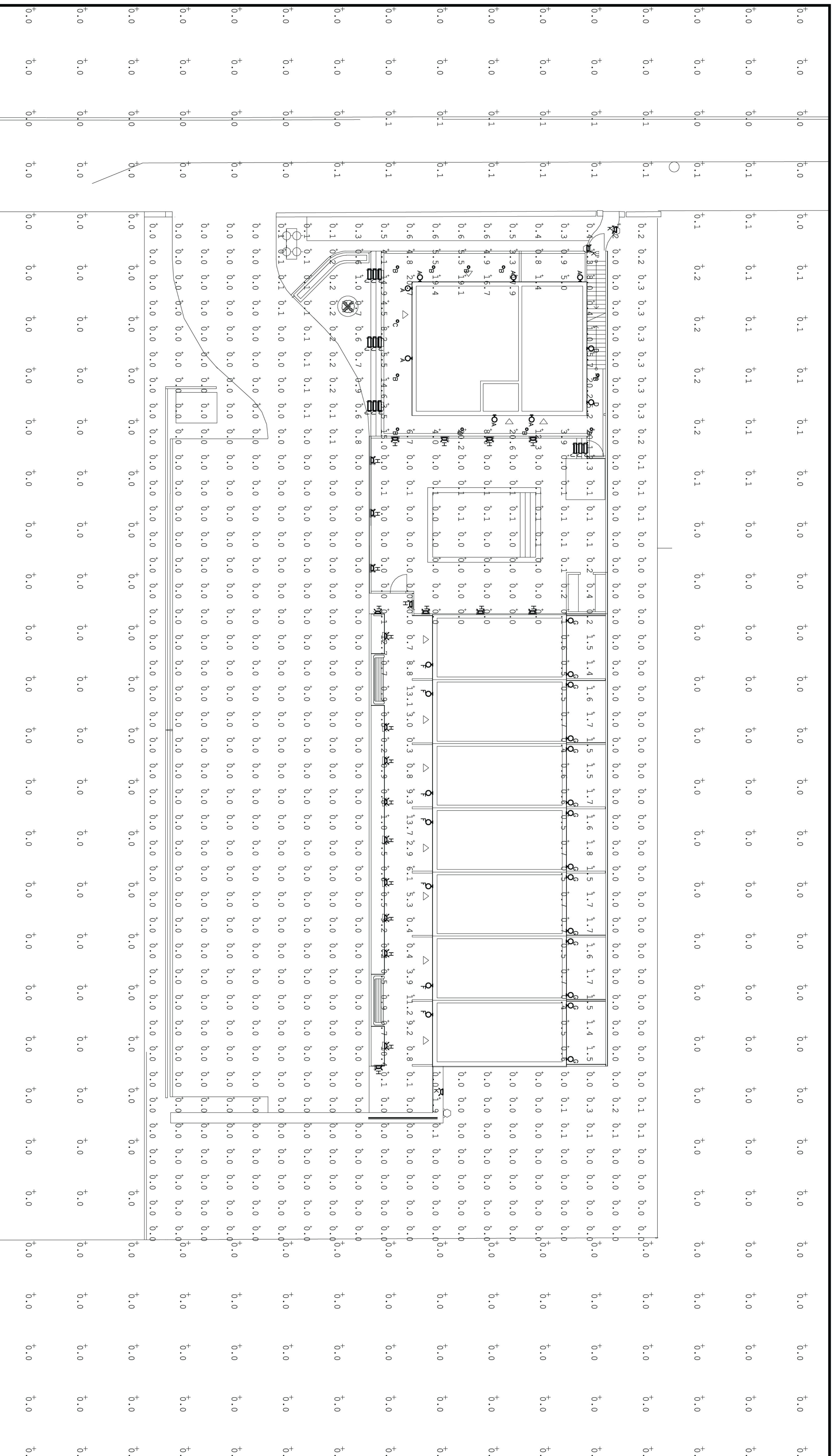
Client
JP ADAMO

CAPES ENGINEERING

WWW.CAPESENGINEERING.COM

#53 BRUCE STREET SOUTH
POST DEVELOPMENT DRAINAGE PLAN

Designed B.H./K.G.	Checked K.G.	Date 24/10/18	Drawing No.
Project No. 2024-094	CONTRACT NO.	Rev No. 1	C3
Scale 1:200		0 4.0 8.0 12.0m	



- NOTES:
1. PHOTOMETRIC FILES WERE NOT AVAILABLE FOR ALL FIXTURE TYPES. PHOTOMETRIC FILES FROM SIMILAR TYPE FIXTURES WERE USED WITH WITH ADJUSTMENTS MADE TO THE LUMEN PACKAGE TO REFLECT THE PROPOSED FIXTURE.
 2. REFER TO DRAWING E1 FOR FIXTURE TYPES.

Town of Blue Mountains
 Planning and Development Services
 Accepted For Construction

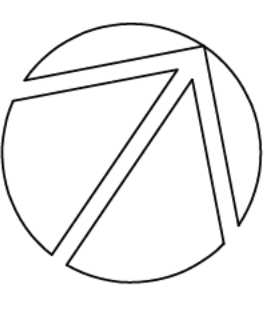
Brian Clark
 Development Approval
 Signature Date 2025

AFC Drawings are only valid as part and equal extension of a Development Approval

NO	DESCRIPTION	DATE	BY
0	ISSUED FOR SPA	2025/01/20	HK
REVISIONS			

Kirkland Engineering Ltd BCIN: 28857

NOT TO BE USED FOR CONSTRUCTION UNLESS SHOWN BY THE ENGINEER.
 THIS DRAWING IS AN INSTRUMENT OF PROFESSIONAL SERVICE FOR USE EXCLUSIVELY ON THIS PROJECT. SERVICE FOR ANY PORTION OF THIS DOCUMENT IS PROHIBITED.
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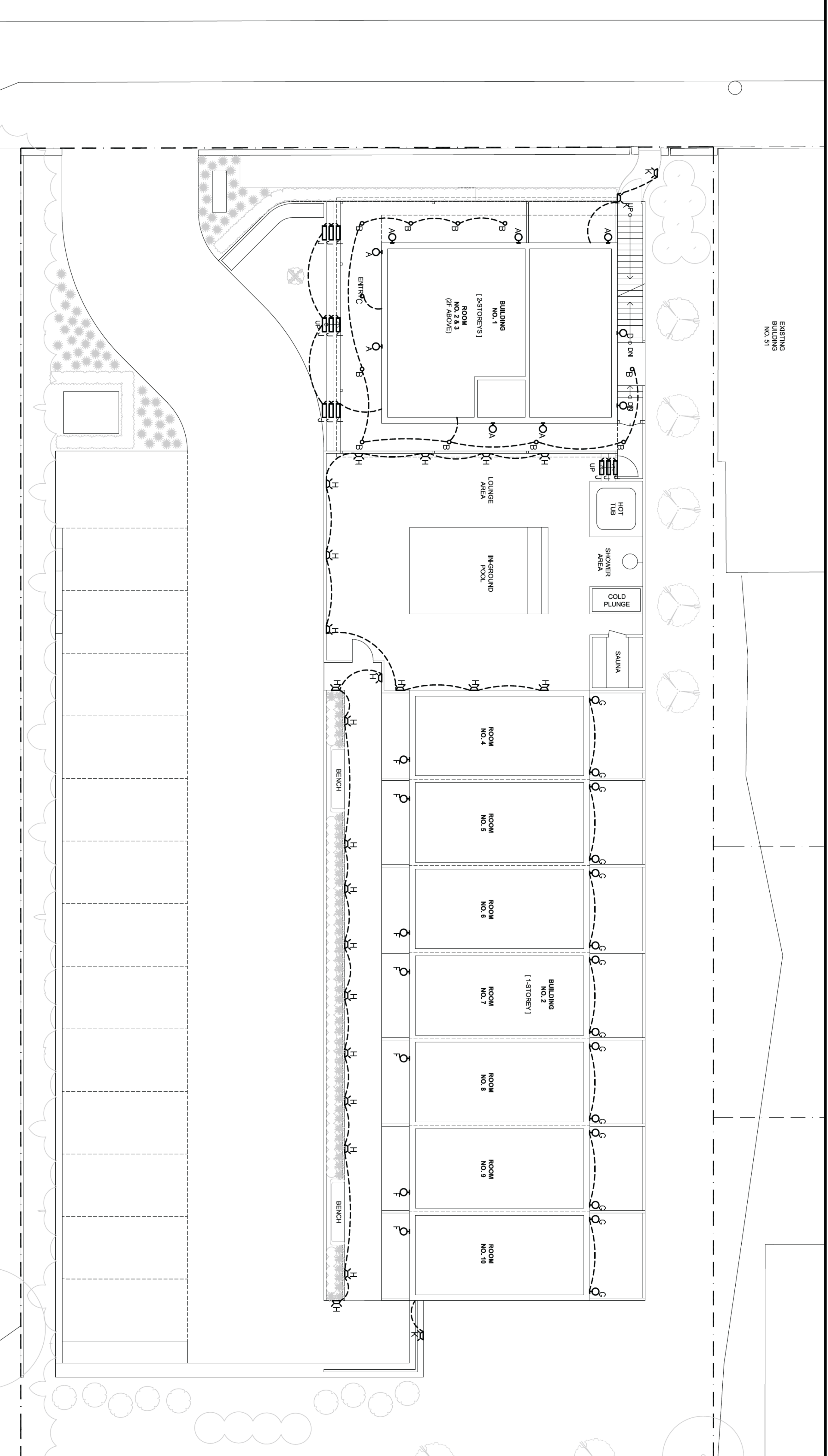
570 Water Street
 Peterborough, Ontario
 E 70S 7A2S31
 F (705) 741-1526
 www.kirklandeng.com

PROJECT
LEEWARD HOUSE

53 Bruce St. S.
 Thornbury, ON

TITLE		SCALE N.T.S.	
PHOTOMETRIC CALCULATIONS			
DESIGN	HK	DWG NO.	
DRAWN	HK		
CHECKED	DNM		
APPROVED	DNM		
PROJECT	7495		

E1a



A SITE LIGHTING LAYOUT
SCALE: 1:100

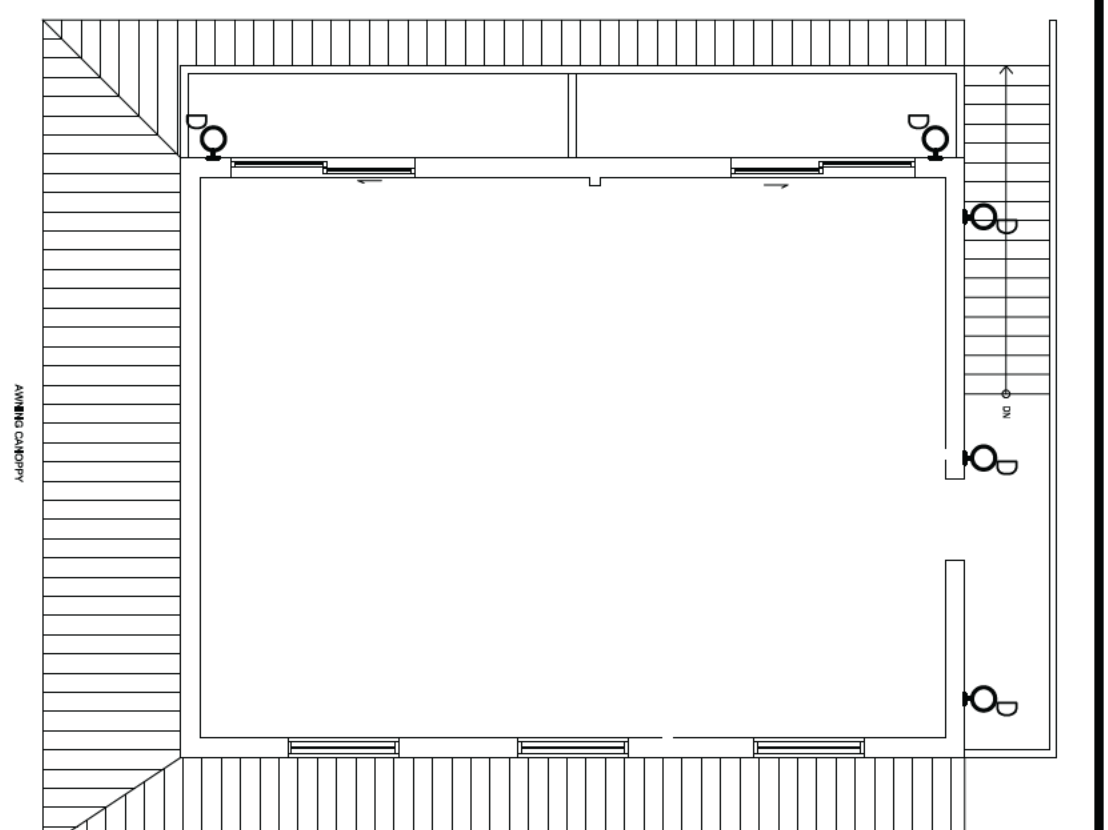


FIXTURE	DESCRIPTION	MANUFACTURER	MODEL NO.
A	LANTERN STYLE WALL SCONCE, AGED BRASS IN COLOR, 120V, C/W LED BULB	HINKLEY	2376AS
B	3.5" RECESSED LED DOWNLIGHT, 3000K COLOUR TEMPERATURE, ELECTRONIC DRIVER, 12 INPUT WATTS, APPROX. 1000 LUMEN OUTPUT, MEDIUM BEAM SPOTTING LENS, 120V, WHITE TRIM, SEMI-SPECULAR FINISH	LIFELINE	RA35P-12-C-W-2-T-W-S-INC
C	DECORATIVE SEMI-FLUSH MOUNT FIXTURE, HERITAGE BRASS TRIM, 120V, C/W LED BULB	REJUVENATION	3312180-V1-HEB-144382
D	COROLLAR HALF-FLUSH WALL SCONCE, NATURAL BRASS FINISH, 120V, C/W LED BULB	REJUVENATION	2201628
F	ARM MOUNTED WALL SCONCE FIXTURE, BURNISHED BRONZE FINISH, 120V, C/W LED BULB	HINKLEY	640685120783
G	OVAL CAGED WALL SCONCE, NATURAL BRASS FINISH, 120V, C/W LED BULB	REJUVENATION	5979657
H	12V LED STEP LIGHT, 1 INPUT WATT, 17 LUMEN OUTPUT, TEXTURED BLACK FINISH, C/W TRANSFORMERS AS NEEDED	KICHLER	161720GR27
J	12V LED 12" LINEAR RECESSED FIXTURE, 3000K COLOUR TEMPERATURE, 85 LUMEN OUTPUT, TEXTURED BLACK FINISH, C/W TRANSFORMERS AS NEEDED	KICHLER	16102-BKT-30
K	12V LED LINEAR PATH LIGHT, 3000K COLOUR TEMPERATURE, 190 LUMEN OUTPUT, BLACK FINISH, C/W TRANSFORMERS AS NEEDED	WAC	6401-30-BK

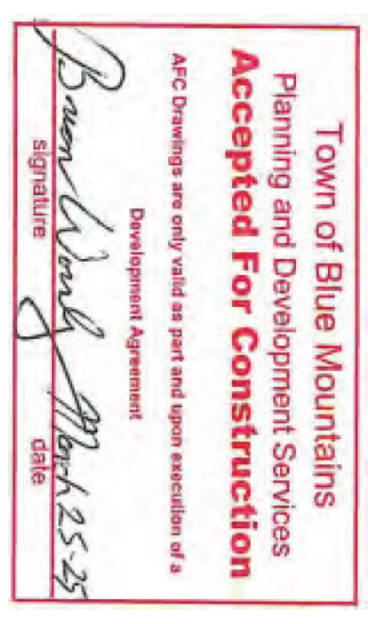
LIGHTING SCHEDULE

SPECIFICATION

1. GENERAL CONDITIONS
 - 1.1. ACCORDANCE WITH ONTARIO ELECTRICAL SAFETY CODE, CURRENT EDITION, AND PERSON-AS-APPLICABLE CANADIAN ELECTRICAL CODE, PART I, CSA STANDARD C22.1, AND ALL BULLETINS TO DATE.
2. SCOPE OF WORK
 - 2.1. PROVIDE ALL MATERIALS, EQUIPMENT AND LABOUR TO PROVIDE A COMPLETE OPERATING INSTALLATION AS DESIGNATED IN THIS SPECIFICATION AND AS INDICATED ON THE DRAWINGS EXCEPT WHERE OTHERWISE NOTED.
 - 2.2. THE SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO, SUPPLY AND INSTALLATION OF THE FOLLOWING ITEMS:
 - 2.2.1. LIGHTING
3. GENERAL
 - 3.1. ALL MATERIALS SHALL BE CSA APPROVED, NEW AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. IDENTIFICATION
 - 4.1. WIRES TO BE COLORED AS FOLLOWS:
 - 120V AC NEUTRAL WHITE
 - 12V AC SWITCHED, BLACK OR RED.
 - 120V AC LINE, BLACK.
 - 120V DC BLUE.
5. EXAMINATION OF SITE
 - 5.1. PRIOR TO SUBMITTING TENDERS, THIS CONTRACTOR SHALL VISIT THE SITE TO DETERMINE ALL EXISTING CONDITIONS, WITH COMPLETING THE WORK OF DIVISION 16 IN ACCORDANCE WITH EXISTING SITE AND BUILDING CONDITIONS.
 - 5.2. NO ALLOWANCE FOR EXTRA PAYMENTS TO THE CONTRACTOR WILL BE MADE BY THE OWNER FOR FAILING TO VISIT AND EXAMINE SITE CONDITIONS.
6. INSURANCE
 - 6.1. SUB-CONTRACTOR SHALL MAINTAIN SUCH INSURANCE AS WILL FULLY PROTECT BOTH THE OWNER AND THE SUB-CONTRACTOR FROM ANY AND ALL CLAIMS UNDER THE WORKMEN'S COMPENSATION ACT, ALSO ALL INSURANCE AS NOTED WITHIN ARCHITECTURAL GENERAL CONDITIONS.
7. AS-BUILT DRAWINGS
 - 7.1. MAINTAIN A SEPARATE SET OF WHITE PRINTS ON THE SITE AND NOTE ALL CHANGES AND DEVIATIONS FROM THE ORIGINAL DESIGN. TWO SETS OF THESE DRAWINGS SHOWN ALL AS-BUILT CONDITIONS SHALL BE FORWARDED TO THE ARCHITECT AT THE COMPLETION OF THIS CONTRACT AND BEFORE APPLYING FOR FINAL PAYMENT.
 - 8.1. ADDITIONAL MONEY OVER THE CONTRACT PRICE SHALL NOT BE PAID UNLESS AN ORDER FOR CHANGE ORDER HAS BEEN RECEIVED FROM THE ARCHITECT. CHANGES SHALL BE SUBMITTED WITH A COMPLETE BREAKDOWN OF MATERIAL, LABOUR, HOUR RATES, ETC.
9. CLEAN UP
 - 9.1. BE RESPONSIBLE TO KEEP THE AREA CLEAN AT ALL TIMES AND TO PERIODICALLY REMOVE ALL DEBRIS.
 - 10.1. ALL CUTTING AND PATCHING REQUIRED FOR THE WORK OF THIS DIVISION SHALL BE CARRIED OUT BY THIS DIVISION. NO CHASING BLOCK WORK WILL BE ALLOWED. CUTTING AND DRILLING SHALL BE PERFORMED IN A MANNER SO AS TO CAUSE LITTLE DAMAGE. BE RESPONSIBLE AND PAY FOR ANY DAMAGE TO THE BUILDING INCURRED BY WORK OF THIS DIVISION.
11. COORDINATION
 - 11.1. BE RESPONSIBLE TO COORDINATE THE INSTALLATION OF EQUIPMENT, CONDUIT WORK, LIGHTING FIXTURES, ETC. WITH OTHER TRADES AND THE OWNER'S REPRESENTATIVE PRIOR TO THE ACTUAL INSTALLATION.
12. RESPONSIBILITY
 - 12.1. BE RESPONSIBLE FOR ELECTRICAL WORK UNTIL THE COMPLETION AND FINAL ACCEPTANCE, FOR REPLACING ANY ITEM THAT MAY BE DEFECTIVE, DAMAGED, LOST OR STOLEN WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY TO THE COMPLETION OF THE PROJECT.
13. WIRING MATERIALS AND METHODS
 - 13.1. USE MATERIALS AND METHODS APPROVED BY ONTARIO ELECTRICAL CODE FOR USE IN NON-COMBUSTIBLE CONSTRUCTION.
 - 13.2. ALL BUILDINGS WIRING SHALL BE COPPER TYPE RM90-XLPE WHERE APPROPRIATE ETC. ALL BUILDINGS WIRING SHALL BE COPPER TYPE RM90-XLPE WHERE APPROPRIATE
 - 13.3. USE MINIMUM OF #12 AWG FOR BRANCH CIRCUIT WIRING.
 - 13.4. ARMORED CABLE TYPE AC90 (BX) WITH INTERLOCKING ARMOR FABRICATED FROM ALUMINUM STRIP C/W COPPER INSULATED CONDUCTORS, SIZE AS INDICATED, TO BE USED IN CONCEALED WALL AND CEILING CAVITIES.
14. SHOP DRAWINGS AND PRODUCT DATA
 - 14.1. SHOP DRAWINGS MEANS DRAWINGS, DIAGRAMS, ILLUSTRATIONS, SCHEDULES, CONNECTIONS, CHANGES, DETAILS AND NOTES TO BE PROVIDED BY THE CONTRACTOR TO CHECKS, BEFORE DETAILS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, NECESSARY FOR COMPLETION OF WORK.
 - 14.3. ADJUSTMENTS MADE ON SHOP DRAWINGS BY OWNER OR ENGINEER ARE NOT INTENDED TO CHANGE CONTRACT PRICE.
 - 14.4. SUBMIT CHANGES QUALITY ELECTRONIC COPY OF PRODUCT DATA SHEETS OR BROCHURES FOR LIGHTING FIXTURES.
 - 14.6. PROVIDE 2 MAINTENANCE MANUALS COMPLETE WITH WARRANTY AND MAINTENANCE INFORMATION.
15. SYSTEMS DEMONSTRATION
 - 15.1. PRIOR TO FINAL INSPECTION DEMONSTRATE OPERATION OF EACH SYSTEM TO OWNER AND ENGINEER.
 - 15.2. INSTRUCT PERSONNEL IN OPERATION ADJUSTMENT AND MAINTENANCE OF EACH SYSTEM, USING PROVIDED OPERATION AND MAINTENANCE DATA AS BASIS FOR INSTRUCTION.
16. PERMITS, FEES AND INSPECTION
 - 16.1. SUBMIT TO ELECTRICAL SAFETY AUTHORITY, NECESSARY NUMBER OF DRAWINGS AND SPECIFICATIONS TO OBTAIN PERMITS AND INSPECTION FEES.
 - 16.2. PAY ASSOCIATED FEES, INCLUDING EQUIPMENT APPROVAL INSPECTION FEE.
 - 16.3. OWNER WILL PROVIDE DRAWINGS AND SPECIFICATIONS REQUIRED BY ELECTRICAL SAFETY AUTHORITY AT NO COST.
 - 16.4. NOTIFY ENGINEER OF CHANGES REQUIRED BY ELECTRICAL SAFETY AUTHORITY PRIOR TO MAKING CHANGES.
 - 16.5. NOTIFY ENGINEER OF ACCEPTANCE FROM ELECTRICAL SAFETY AUTHORITY AND AUTHORITIES HAVING JURISDICTION OF COMPLETION OF WORK TO ENGINEER.
17. THIRD PARTY TESTING
 - 17.1. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THIRD PARTY TESTING OF THE LIGHTING SYSTEM IN ACCORDANCE WITH ASHRAE STANDARD 90.1-2010, SECTION 9.4.4 FUNCTIONAL TESTING. THE PARTY RESPONSIBLE FOR THE FUNCTIONAL TESTING SHALL NOT BE DIRECTLY INVOLVED IN EITHER THE DESIGN OR CONSTRUCTION OF THE PROJECT AND SHALL PROVIDE DOCUMENTATION CERTIFYING THAT THE INSTALLED LIGHTING SYSTEM IS IN ACCORDANCE WITH THE DESIGN AND THE CONTRACT DOCUMENTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - 17.2. WHEN SENSORS, THE SWITCHES, PROGRAMMABLE SCHEDULE CONTROLS OR PHOTOSENSORS ARE INSTALLED, THE FOLLOWING PROCEDURES SHALL BE PERFORMED: OCCUPANT SENSORS YIELD ACCEPTABLE PERFORMANCE. LIGHTS TURN OFF ONLY AFTER SPACE IS VACATED, WHERE AN AUTO-ON MODE HAS BEEN SELECTED, LIGHTS DO NOT TURN ON UNLESS SPACE IS OCCUPIED.
 - 17.2.2. CONFIRM THAT THE TIME SWITCHES AND PROGRAMMABLE SCHEDULE CONTROLS ARE OPERATING CORRECTLY AND THAT THE LIGHTS ARE INSTALLED, CONTROL THAT PHOTOSENSOR CONTROLS REDUCE ELECTRIC LIGHT LEVELS BASED ON THE AMOUNT OF VISIBLE DAYLIGHT IN THE SPACE AS SPECIFIED.
18. WARRANTY
 - 18.1. AFTER THE WORK IS COMPLETED, GIVE A WRITTEN GUARANTEE FOR ONE YEAR COVERING WORKMANSHIP AND MATERIALS. REPAIR OR REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY DEFECTS DUE TO WORKMANSHIP OR MATERIALS WHICH IN THE OWNER'S OPINION, ARE NOT DUE TO MISUSE OR ABUSE.
19. CONDUITS AND RACKING
 - 19.1. RIGID GALVANIZED STEEL CONDUIT TO BE USED WHERE SUBJECT TO MECHANICAL DAMAGE.
 - 19.2. ELECTRICAL METALLIC TUBING (EMT) WITH COUPLINGS TO BE USED EXCEPT WHERE EMBEDDED IN CONCRETE OR SUBJECT TO UNDE MOISTURE OR MECHANICAL DAMAGE.
 - 19.3. RIGID PVC CONDUIT WHERE EMBEDDED IN CONCRETE OR BELOW GRADE.
 - 19.4. FLEXIBLE ALUMINUM CONDUIT WITH WEATHERPROOF COVERING TO BE USED WHERE SUBJECT TO MECHANICAL DAMAGE.
 - 19.5. CONDUITS IN FINISHED AREA SHALL BE CONCEALED.
 - 19.6. CONDUITS SHALL BE MINIMUM 1/2".



B BUILDING 1 SECOND FLOOR
SCALE: 1:100



- NOTES:**
1. BASE INFORMATION ON THIS DRAWING OBTAINED FROM EDWARD LEE ARCHITECT, DECEMBER 2024.
 2. CONSTRUCTION PHASE SITE REVIEW INSPECTION OF THE INSTALLATION IS THE RESPONSIBILITY OF THE ELECTRICAL SAFETY AUTHORITY (ESA)
 3. CONTRACTOR TO OBTAIN LOCATES FOR ALL UTILITIES, BELL AND CABLE. HAND DIG OR VACUUM IN ANY AREAS OF INTERFERENCE WITH UTILITIES OR OTHER SERVICES.
 4. LIGHTING LAYOUT AND LIGHTING FIXTURE SELECTION BY OTHERS AND INCORPORATED INTO THIS ELECTRICAL DRAWING.
 5. LIGHTING FIXTURES TYPE 'C' TO BE CONTROLLED BY A LIGHT SWITCH WITHIN EACH ROOM. ALL OTHER LIGHT FIXTURES TO BE ON DUSK TILL DAWN PHOTOCELLS. CONTRACTOR TO INCLUDE ONE PHOTOCELL PER BUILDING, FIXTURES TYPE 'H' TO BE CONTROLLED BY THE PHOTOCELL FOR BUILDING 2.
 6. PHOTOCELLS TO BE LOCATED ON EACH OF THE TWO BUILDINGS. PHOTOCELL TO BE MOUNTED SUCH THAT IT FACES NORTH, THE SENSOR IS CLEAR OF ANY OBSTRUCTIONS AND THE DEVICE IS SHELTERED FROM SNOW OR ICE SLIDING OFF THE ROOF.
 7. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT OF THE LIGHT FIXTURES ON SITE WITH THE ARCHITECT AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 8. WIRING SHOWN FOR LOW VOLTAGE FIXTURES IS ILLUSTRATIVE ONLY. CONTRACTOR TO PROVIDE WIRING DETAILS, ACCESSARY AND FOR A COMPLETE AND FUNCTIONING LIGHTING SYSTEM.
 9. DESIGN OF BUILDING INTERIOR ELECTRICAL BY OTHERS.
 10. DESIGN OF ELECTRICAL SITE SERVICES BY OTHERS.

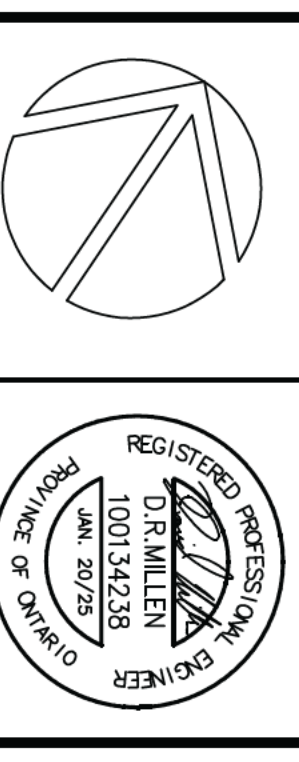
NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR SPA	2025/01/20	HK
REVISIONS			

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LEERDARD HOUSE

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SITE LIGHTING LAYOUT

SCALE AS NOTED

DATE: HK
CHECKED: HK
APPROVED: HK

PROJECT: **7495**